

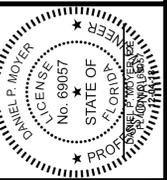
WARNER'S BAYOU BOAT RAMP SOUTH PARKING LOT IMPROVEMENTS

VERTICAL DATUM: NAVD '88

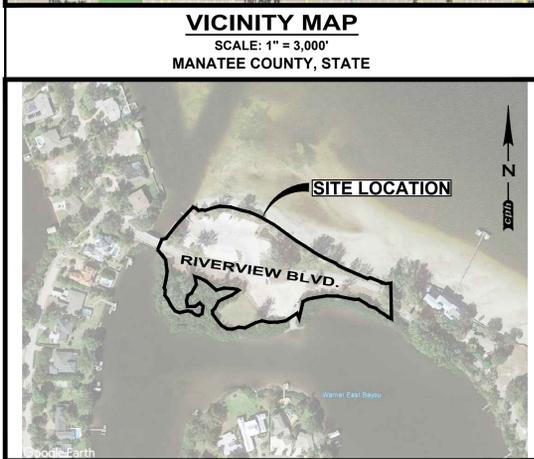
DATUM CONVERSION
+0.298' NGVD

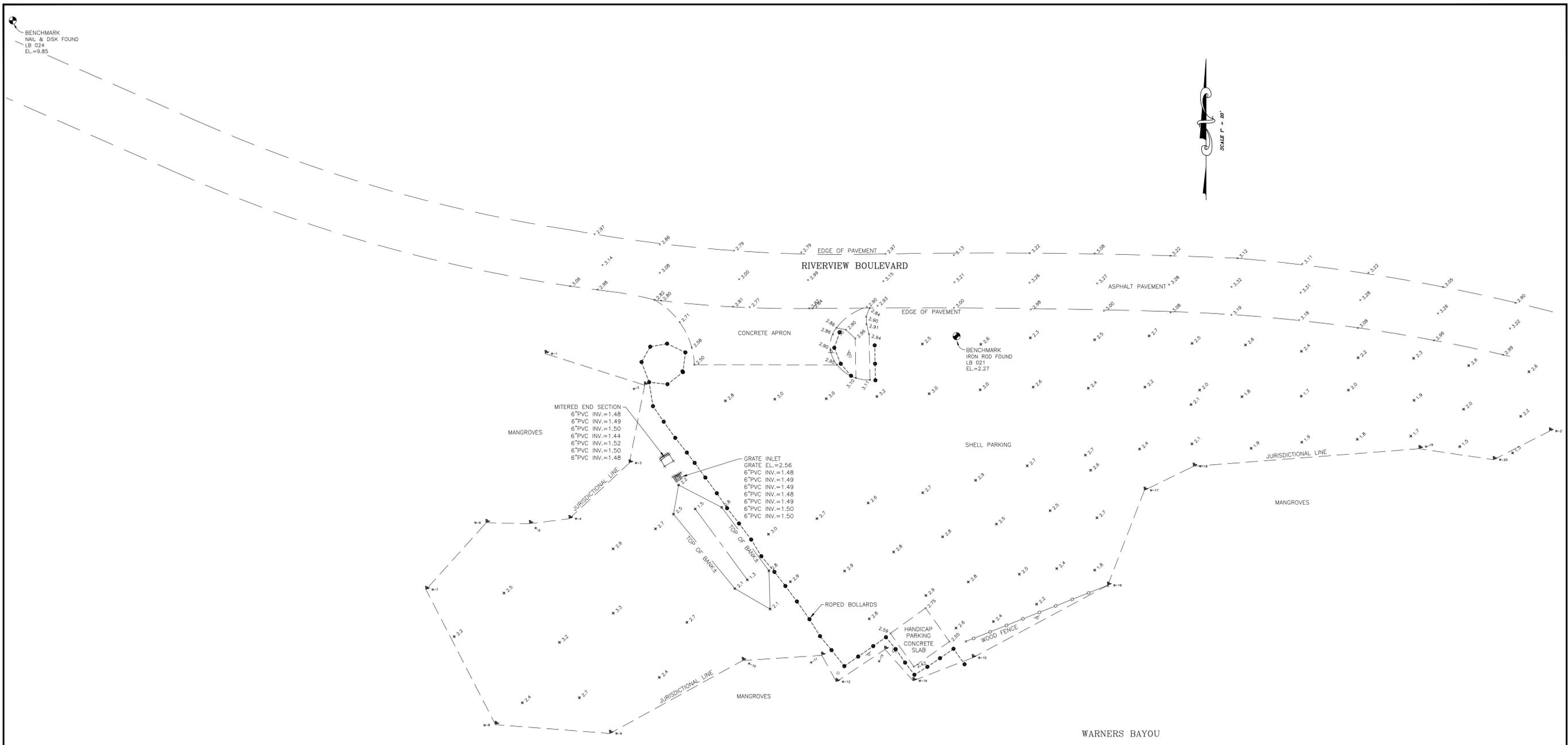


www.cphcorp.com
**A Full Service
A & E Firm**
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Sarasota, FL 34237
Ph: 941.365.4771
Plans Prepared By:
CPH, Inc.
State of Florida Licenses:
Engineer No. 3215
Surveyor No. LB7143
Architect No. AA26000926
Landscape No. LC000298



**5800 RIVERVIEW BLVD.
MANATEE COUNTY, FLORIDA
SECTION 20 - TOWNSHIP 34 SOUTH - RANGE 17 EAST
PARCEL ID: 3047600006**

CONSULTANTS	UTILITY PROVIDERS	APPROVAL AGENCIES	INDEX OF SHEETS	MAPS
<p>OWNER / DEVELOPER MANATEE COUNTY 5502 33rd AVE. DRIVE WEST BRADENTON, FLORIDA 34209 (941) 792-8784 ATTN: ALAN MERONEK</p> <p>ENGINEER CPH, INC. 3277A FRUITVILLE ROAD SARASOTA, FLORIDA 34237 ATTN: DANIEL P. MOYER, P.E. (941) 365-4771</p> <p>SURVEYOR GEORGE F. YOUNG, INC. 10540 PORTAL CROSSING, SUITE 105 BRADENTON, FLORIDA 34211 (941) 747-2981 ATTN: F. PETER LUTZ, JR.</p> <p>LANDSCAPE ARCHITECT CPH, INC. 500 WEST FULTON STREET SANFORD, FLORIDA 32771 ATTN: MAXWELL D. SPANN, R.L.A. (407) 322-6841</p> <p>ENVIRONMENTAL SCIENTIST CPH, INC. 500 WEST FULTON STREET SANFORD, FLORIDA 32771 ATTN: DAVID A. LANDERS (407) 322-6841</p> <p>NOTE: NO WELLS EXIST CURRENTLY ON THIS SITE.</p>  <p>BEFORE YOU DIG! CALL SUNSHINE STATE ONE CALL OF FLORIDA AT LEAST TWO FULL BUSINESS DAYS BEFORE DIGGING OR DISTURBING EARTH</p> <p>www.callsunshine.com Know what's below. Call before you dig.</p> <p><small>*NOTICE* THE SIZE OF THESE PLANS MAY HAVE BEEN SLIGHTLY ALTERED BY REPRODUCTION PROCESSES. THIS MUST BE CONSIDERED WHEN SCALING ANY REPRODUCED PLANS FOR THE PURPOSE OF COLLECTING DATA.</small></p>	<p>ELECTRIC FLORIDA POWER & LIGHT 303 HASTINGS ROAD ST. AUGUSTINE, FLORIDA 32084 (800) 868-9554 ATTN: TRACY STERN</p> <p>TELEPHONE VERIZON FLORIDA INC. 1909 US HWY. 301 N. TAMPA, FLORIDA 33619 (813) 627-8343 ATTN: DAVID WYNNS</p> <p>WATER / SEWER MANATEE COUNTY UTILITY OPERATIONS 4422 - C 66TH STREET WEST BRADENTON, FLORIDA 34210 (941) 792-8811, EXT. 5002 ATTN: KATHY MCMAHON</p> <p>CABLE BRIGHT HOUSE NETWORKS TAMPA BAY 5413 SR 64 E. BRADENTON, FLORIDA 34208 (941) 345-1348 EXT. 21348 ATTN: TOM WRIGHT</p>	<p>MANATEE COUNTY MANATEE COUNTY 5502 33rd AVE. DRIVE WEST BRADENTON, FLORIDA 34209 (941) 792-8784 ATTN: ALAN MERONEK</p> <p>FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION SOUTHWEST DISTRICT 13051 N. TELECOM PARKWAY TEMPLE TERRACE, FLORIDA 33637 PHONE: (813) 470-5700</p>	<p>C0.1 COVER SHEET C0.1A SUMMARY OF PAY ITEMS S1 BOUNDARY AND TOPOGRAPHIC SURVEY C0.2 GENERAL NOTES, LEGENDS AND SYMBOLS SHEET C1.1 STORMWATER POLLUTION PREVENTION PLAN C1.2 STORMWATER POLLUTION PREVENTION PLAN C1.3 SITE DIMENSION PLAN C1.4 GRADING AND STORM DRAINAGE PLAN C5.1 CONSTRUCTION DETAILS SHEET C5.2 CONSTRUCTION DETAILS SHEET C5.3 CONSTRUCTION DETAILS SHEET C5.4 MANATEE COUNTY DETAILS SHEET C5.5 BID ALTERNATE SHEET L1.1 LANDSCAPE PLAN L5.1 LANDSCAPE NOTES AND DETAILS</p>	<p>MAPS</p>  <p>VICINITY MAP SCALE: 1" = 3,000' MANATEE COUNTY, STATE</p>  <p>LOCATION MAP SCALE: 1" = 300' MANATEE COUNTY, STATE</p> <p>Approval Type: OFF-STREET PARKING PLAN Project Name: WARNER'S BAYOU BOAT RAMP Approved: _____ Date _____ File Number _____ PLN1804-0064</p> <p>PROJECT PLANNER (PD) _____ PROJECT ENGINEER (PW) _____ CONCURRENCY (PD) _____ ENVIRONMENTAL PLANNING (PD) _____ ENVIRONMENTAL HEALTH _____ FIRE DISTRICT _____ OWNER / AGENT _____</p> <p>Attention: The combination of this signed plan and accompanying approval letter constitutes the complete approval document. Both documents should be provided to interested parties and submitted with any building permit application.</p> <p>COVER SHEET</p> <p>PARKING LOT IMPROVEMENT PLANS FOR WARNER'S BAYOU MANATEE COUNTY / FLORIDA</p> <p>THIS SHEET NOT VALID FOR CONSTRUCTION WITHOUT COMPLETE SET OF PLANS. SEE GENERAL NOTES FOR MASTER LEGEND.</p> <p>Sheet No. CO.1</p>



- ELEVATIONS SHOWN WERE BASED ON FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (F.D.E.P.) BENCH MARK "P 689", BEING A DISK LOCATED 40 FEET EAST OF THE APPROXIMATE CENTERLINE OF 75th STREET N.W., AND 132 FEET NORTH OF THE APPROXIMATE CENTERLINE OF 16th AVE. N.W., HAVING A PUBLISHED ELEVATION OF 16.34' PER NORTH AMERICAN VERTICAL DATUM OF 1988.
- HORIZONTAL COORDINATE VALUES ARE EXPRESSED IN STATE PLANE COORDINATES [FLORIDA WEST ZONE] NORTH AMERICAN DATUM 1983 (2011 ADJUSTMENT). THE CONTROL WAS ESTABLISHED BY GPS SURVEY AND THE REFERENCE STATION USED WAS NATIONAL GEODETIC POINT 175-84-A42, PUBLISHED COORDINATES (N: 1162205.87, E: 491431.95).

SPECIFIC PURPOSE SURVEY
 OF A PORTION OF
59th STREET BOAT RAMP
 (SOUTH SIDE)
 LOCATED IN
SECTION 20, TOWNSHIP 34 SOUTH, RANGE 17 EAST
MANATEE COUNTY, FLORIDA

NOTE: THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

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 THIS DOCUMENT IS PROTECTED BY SECTION 106 OF THE "UNITED STATES COPYRIGHT ACT". REPRODUCTION OR ALTERATION OF THIS DOCUMENT OR THE INFORMATION CONTAINED HEREON BY ANY MEANS WHATSOEVER IS STRICTLY PROHIBITED WITHOUT THE PRIOR WRITTEN CONSENT OF ZNS ENGINEERING, L.C. CONSENT IS HEREBY GRANTED SPECIFICALLY TO GOVERNMENTAL AGENCIES TO REPRODUCE THIS DOCUMENT IN COMPLIANCE WITH F.S. CHAPTER 119.

REVISION	BY	DATE

CERTIFICATE OF SURVEYOR

I, THE UNDERSIGNED PROFESSIONAL SURVEYOR & MAPPER, HEREBY CERTIFY THAT THIS RECORD OF LAND SURVEY WAS PREPARED UNDER MY DIRECT SUPERVISION THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF IS A TRUE AND CORRECT REPRESENTATION OF THE LAND AS SHOWN AND DESCRIBED HEREON, AND THAT IT MEETS THE REQUIREMENTS FOR LAND SURVEYING IN THE STATE OF FLORIDA, CHAPTER 5J-17.050, OF THE FLORIDA ADMINISTRATIVE CODE.

FLORIDA CERTIFICATE No. LS 4295
 DATE OF CERTIFICATION 10/16/17
 DATE OF FIELD SURVEY 10/11/17


ZNS ENGINEERING
 LAND PLANNERS ENGINEERS SURVEYORS LANDSCAPE ARCHITECTS
(L1000000)

201 9th AVENUE DRIVE EAST BRADENTON, FL 34208
 E-MAIL: ZNS@ZNSENG.COM TELEPHONE (841) 789-0080 FAX (841) 748-3316

DRAWING: I:\WARNERS_BAYOU\59thBoatRamp-TS.dwg DATE 10/11/17 SCALE 1" = 20'
 DRAWN GB JOB NO. 00-44149 FIELD BOOK 670 PAGE 41 SHEET 1 OF 1

GENERAL PROVISIONS

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL MAKE A PRE-CONSTRUCTION VIDEO (DVD FORMAT) ALONG THE PROPOSED ROUTE IN ACCORDANCE WITH THE SPECIFICATIONS. IN PARTICULAR, THE VIDEO SHALL DOCUMENT THE CONDITION OF EXISTING DRIVEWAYS, BUILDINGS, STRUCTURES, MAILBOXES, SIGNS, FENCES, AND LANDSCAPING ALONG PROPOSED CONSTRUCTION AREAS.
- THE CONTRACTOR SHALL RECOGNIZE AND ABIDE BY ALL OSHA EXCAVATION SAFETY STANDARDS, INCLUDING THE FLORIDA TRENCH SAFETY ACT (FS 69-555.6). ANY MATERIAL, CONSTRUCTION METHODS, OR MATERIAL COST TO COMPLY WITH THESE LAWS SHALL BE INCIDENTAL TO THE CONTRACT.
- THE CONTRACTOR SHALL OBTAIN FROM THE OWNER COPIES OF ALL AVAILABLE REGULATORY AGENCY PERMITS AND LOCAL AGENCY PERMITS.
- ALL CONSTRUCTION PROJECTS 1 OR MORE ACRES IN SIZE THAT DISCHARGE TO OFFSITE AREAS ARE REQUIRED TO COMPLY WITH THE REQUIREMENTS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT FOR STORMWATER DISCHARGE FROM SMALL AND LARGE CONSTRUCTION ACTIVITIES. IN ORDER TO MEET NPDES REQUIREMENTS, THE CONTRACTOR IS RESPONSIBLE FOR PREPARING A STORMWATER POLLUTION PREVENTION PLAN (SWPPP), IMPLEMENTING, INSPECTING, MAINTAINING, AND REPORTING ON ALL ELEMENTS OF THE SWPPP, COMPLETING AND SUBMITTING THE REQUIRED NOTICE OF INTENT (NOI) AND NOTICE OF TERMINATION (NOT) FORMS AS THE OPERATOR, AND PAYING ALL ASSOCIATED FEES.
- THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS REPRESENT A MINIMUM REQUIREMENT. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES NEEDED IN ORDER TO PREVENT THE TRANSFER OF SEDIMENT FROM THE PROJECT AREA AND PREVENT THE EROSION OF SURFACES DURING CONSTRUCTION, AS NEEDED TO PROTECT ADJACENT PROPERTIES AND WATER BODIES.
- IN THE EVENT THAT WATER IS ENCOUNTERED DURING CONSTRUCTION, DEWATERING SHALL BE CONDUCTED. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN, INSTALLATION, OPERATION, AND SUBSEQUENT REMOVAL OF DEWATERING SYSTEMS AND THEIR SAFETY AND CONFORMITY WITH LOCAL CODES AND REGULATIONS. IF DEWATERING EQUIPMENT NEEDED EXCEEDS ANY OF THE FOLLOWING: 1) 6" PUMP VOLUME; 2) 100,000 GPD TOTAL 24 HOUR (1 DAY) DEWATERING; AND, 3) 1,000,000 GPD PUMP CAPACITY, THE CONTRACTOR SHALL BE REQUIRED TO PERMIT THE DEWATERING SYSTEM WITH THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT (SRWMD). THE ENGINEER AND/OR OWNER SHALL BE NOTIFIED IMMEDIATELY IF ANY OF THE ABOVE THRESHOLDS ARE EXCEEDED.
- DEWATERING DISCHARGE FROM THE SITE SHALL COMPLY WITH ALL NPDES GENERAL PERMIT REQUIREMENTS AND STATE WATER QUALITY STANDARDS. PROVIDE ALL TESTING AND PERMITTING REQUIRED AND COMPLY WITH ALL TREATMENT OR DISPOSAL METHODS REQUIRED TO MEET ALL LOCAL, STATE AND FEDERAL REQUIREMENTS.
- UNLESS OTHERWISE DIRECTED BY THE OWNER OR ENGINEER, THE CONTRACTOR IS EXPECTED TO CONTAIN ALL CONSTRUCTION ACTIVITIES WITHIN THE PROPERTY BOUNDARY, RIGHT-OF-WAY AND EASEMENTS, AND OTHER AREAS SPECIFICALLY DESIGNATED FOR CONSTRUCTION. AT NO TIME SHALL THE CONTRACTOR DISTURB SURROUNDING PROPERTIES OR TRAVEL ON SURROUNDING PROPERTIES WITHOUT WRITTEN CONSENT FROM THE PROPERTY OWNER. ANY REPAIR OR RECONSTRUCTION OF DAMAGED AREAS IN SURROUNDING PROPERTIES SHALL BE REPAIRED BY THE CONTRACTOR ON AN IMMEDIATE BASIS. ALL COSTS FOR REPAIRS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION SHALL BE PROVIDED.
- UNLESS OTHERWISE NOTED ON THE PLANS, THE CONTRACTOR SHALL USE THE GEOMETRY PROVIDED ON THE CONSTRUCTION PLANS. BENCHMARK INFORMATION SHALL BE PROVIDED TO THE CONTRACTOR BY THE OWNER OR OWNERS SURVEYOR. ANY DISCREPANCIES BETWEEN FIELD MEASUREMENTS AND CONSTRUCTION PLAN INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
- BASE SURVEY INFORMATION INCLUDING BUT NOT LIMITED TO ELEVATIONS, EASEMENTS, RIGHTS OF WAY, AND OTHER TOPOGRAPHIC INFORMATION HAS BEEN PREPARED BY OTHER PROFESSIONALS. CPH, INC. ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THIS INFORMATION.
- THIS SET OF PLANS MAY CONTAIN DRAWINGS PREPARED BY OTHER PROFESSIONALS, WHICH CONTAIN THE NAME, ADDRESS, AND LOGO OF THE PROFESSIONAL. CPH, INC. IS NOT RESPONSIBLE FOR DRAWINGS PREPARED BY OTHER PROFESSIONALS.
- THE ENTIRE PROJECT SITE SHALL BE THOROUGHLY CLEANED AT THE COMPLETION OF THE WORK. CLEAN ALL INSTALLED PIPELINES, STRUCTURES, SIDEWALKS, PAVED AREAS, ACCUMULATED SILT IN PONDS, PLUS ALL ADJACENT AREAS AFFECTED BY CONSTRUCTION, AS DIRECTED BY THE OWNER OR JURISDICTIONAL AGENCY. EQUIPMENT TO CLEAN THESE SURFACES SHALL BE SUBJECT TO APPROVAL BY THE OWNER.

UTILITY GENERAL NOTES

- THE UTILITY DATA SHOWN ON THESE PLANS WAS LOCATED BY THE RESPECTIVE UTILITY, OR IS BASED ON UTILITY DRAWINGS, MAPS, OR FIELD RECONNAISSANCE.
- THE LOCATION, MATERIAL TYPE, AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATIONS OF THESE UTILITIES WITH THE OWNER OF THE UTILITY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING AN UNDERGROUND UTILITY, WHETHER SHOWN ON THE PLANS OR LOCATED BY THE UTILITY COMPANY. ANY UTILITIES, WHETHER SHOWN ON THESE PLANS OR NOT, THAT INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE CLOSELY COORDINATED WITH THE ENGINEER AND THE RESPECTIVE UTILITY COMPANY FOR RELOCATION OR PROPER INSTRUCTION.
- A SINGLE POINT UTILITY IDENTIFICATION SERVICE HAS BEEN SET UP FOR EXISTING UTILITIES. THE CONTRACTOR IS TO CONTACT THE SUNSHINE STATE ONE CALL CENTER BY DIALING 811 AT LEAST TWO (2) AND NO MORE THAN FIVE (5) WORKING DAYS PRIOR TO THE SPECIFIC CONSTRUCTION ACTIVITY FOR FIELD LOCATION. NOTE THAT NOT ALL UTILITIES PARTICIPATE IN THIS PROGRAM. THE CONTRACTOR SHOULD CONTACT ALL NON-PARTICIPATING UTILITIES SEPARATELY FOR FIELD LOCATION OF THEIR FACILITIES AT LEAST TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION.
- REFER TO THE COVER SHEET FOR UTILITIES THAT HAVE PREVIOUSLY INDICATED THAT THEY MAY HAVE FACILITIES IN THE VICINITY OF THE CONSTRUCTION AREA.
- THE CONTRACTOR SHALL KEEP LOCATE TICKETS UP TO DATE AT ALL TIMES.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH EACH UTILITY AND ALL COSTS ASSOCIATED WITH THE PROTECTION OF EXISTING FACILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL ALSO COORDINATE NECESSARY RELOCATIONS OR OTHER CONSTRUCTION RELATED MATTERS WITH EACH UTILITY.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN IN SERVICE ALL EXISTING PIPING ENCOUNTERED DURING CONSTRUCTION UNLESS OTHERWISE INDICATED IN THE DRAWINGS. ANY PIPING WHICH CAN BE REMOVED DURING CONSTRUCTION WITHOUT UNDUE INTERRUPTION OF SERVICE MAY BE REMOVED AND REPLACED BY THE CONTRACTOR WITH THE PERMISSION OF THE OWNER AND THE ENGINEER.
- THE CONTRACTOR SHALL FIELD LOCATE ALL WATER AND SEWER SERVICES AND LATERALS WITHIN THE PROPOSED CONSTRUCTION AREA PRIOR TO CONSTRUCTION AND ADJUST THE PROPOSED CONSTRUCTION AS NEEDED TO ACCOMMODATE THESE EXISTING LINES.
- TYPICAL DETAILS AND PROPOSED CONSTRUCTION AS SHOWN ILLUSTRATE THE ENGINEER'S INTENT AND ARE NOT PRESENTED AS A SOLUTION TO ALL CONSTRUCTION PROBLEMS ENCOUNTERED IN THE FIELD. THE CONTRACTOR MAY ALTER THE PROPOSED CONSTRUCTION TO SUIT FIELD CONDITIONS, PROVIDED IT COMPLIES WITH THE PROJECT SPECIFICATIONS AND APPROVAL IS RECEIVED FROM THE ENGINEER. WHERE SUCH PROPOSED REVISIONS DEVIATE FROM THE FDOT CONSTRUCTION PERMIT, THEN SUCH REVISIONS WILL ALSO REQUIRE APPROVAL FROM FDOT.
- FOR EACH RESPECTIVE PIPELINE CONSTRUCTION REQUIRED, THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION, DEPTH, SIZE, MATERIAL TYPE, AND ALIGNMENT OF ALL EXISTING PIPES, CABLES, ETC. TO BE GROSSED OR CONNECTED TO. IF THE CONTRACTOR DEEMS NECESSARY (A) A CHANGE IN ALIGNMENT OR DEPTH, OR THE NEED FOR ADDITIONAL FITTINGS, BENDS, OR COUPLINGS, WHICH REPRESENT A DEPARTURE FROM THE CONTRACT DRAWING, OR (B) A NEED FOR RELOCATION OF EXISTING UTILITIES, THEN DETAILS OF SUCH DEPARTURES, RELOCATIONS, OR ADDITIONAL FITTINGS, INCLUDING CHANGES IN RELATED PORTIONS OF THE PROJECT AND THE REASONS THEREFORE, SHALL BE SUBMITTED WITH SHOP DRAWINGS. APPROVED DEPARTURES FOR THE CONTRACTOR'S CONVENIENCE SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL PROVIDE AT HIS OWN EXPENSE ALL NECESSARY TEST PUMPING EQUIPMENT, WATER, WATER METERS, PRESSURE GAUGES, AND OTHER EQUIPMENT, MATERIAL AND FACILITIES REQUIRED FOR ALL HYDROSTATIC, LEAKAGE, AND PRESSURE TESTING. THE CONTRACTOR SHALL CONTACT THE ENGINEER AND THE OWNER IN WRITTEN FORM, FORTY-EIGHT (48) HOURS IN ADVANCE OF PROPOSED TESTING. THE CONTRACTOR SHALL PERFORM SATISFACTORY PRETESTING PRIOR TO NOTIFICATION.

TRAFFIC CONTROL

- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A MAINTENANCE OF TRAFFIC (M.O.T.) PLAN PRIOR TO CONSTRUCTION. THE M.O.T. PLAN SHALL SHOW ALL PROPOSED TRAFFIC CONTROL SIGNS, PAVEMENT MARKINGS, AND BARRICADES, AND SHALL DETAIL ALL PROPOSED CONSTRUCTION SEQUENCING. THE M.O.T. PLAN AND INSTALLED TRAFFIC CONTROL MEASURES SHALL BE APPROVED BY THE ENGINEER, OWNER, AND ROADWAY JURISDICTIONAL AGENCY PRIOR TO CONSTRUCTION. IN GENERAL, ROADWAY AND DRIVEWAY LANE CLOSURES ARE PROHIBITED DURING CONSTRUCTION UNLESS SPECIFICALLY DETAILED ON THESE PLANS. IN THE EVENT IT IS DETERMINED THAT ROADWAY AND DRIVEWAY LANE CLOSURES WILL BE ALLOWED, THE CLOSURES SHALL BE RESTRICTED TO THE HOURS BETWEEN 9:00 A.M. AND 4:00 P.M. UNLESS OTHERWISE AUTHORIZED IN THE APPROVED M.O.T.
- ALL TRAFFIC CONTROL MEASURES SHALL BE IN ACCORDANCE WITH FDOT STANDARD PLANS FOR ROAD CONSTRUCTION, INDEX NO. 102-600 AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL TRAFFIC CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND MAINTAINED DURING CONSTRUCTION.
- INSPECT TRAFFIC CONTROL DEVICES ON A DAILY BASIS TO ENSURE PLACEMENT OF BARRICADES AND FUNCTION OF LIGHTS IS MAINTAINED THROUGHOUT CONSTRUCTION.
- CONTACT PROPERTY OWNERS AFFECTED BY CONSTRUCTION. COORDINATE TEMPORARY DRIVEWAY CLOSURES AND SEQUENCING. MAINTAIN ACCESS FOR ALL PROPERTY OWNERS DURING CONSTRUCTION.
- WET UNSTABILIZED AREAS AS NECESSARY TO CONTROL DUST.
- ADJUST TRAFFIC CONTROL DEVICES AS REQUIRED UNDER EMERGENCY CONDITIONS.
- THE CONTRACTOR IS EXPECTED TO COORDINATE ITS ACTIVITIES WITH OTHER CONTRACTORS WHO MAY BE WORKING IN THE IMMEDIATE VICINITY.
- WHEN WORK OCCURS WITHIN 15-FT OF ACTIVE ROAD TRAVEL WAY BUT NO CLOSER THAN 2-FT FROM THE TRAVEL WAY, SIGNAGE AND WARNING DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH FDOT INDEX NO. 102-600 AND 102-602. WHEN WORK OCCURS BETWEEN THE ROAD CENTERLINE AND A LINE 2-FT OUTSIDE THE EDGE OF THE TRAVEL WAY, SIGNAGE AND WARNING DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH FDOT INDEX NO. 102-600 AND 102-603.
- TYPE I OR TYPE II BARRICADES AT 20-FT CENTERS SHALL BE PLACED AND MAINTAINED ALONG THE EDGE OF THE ROAD WHEREVER HAZARDS EXIST AND TO BLOCK ENTRANCE INTO COMPLETED OR PARTIALLY COMPLETED PAVEMENTS UNTIL SUCH PAVEMENTS ARE OPEN TO PUBLIC USE.
- WHERE A DROP-OFF CONDITION IN THE WORK ZONE OCCURS, IT SHALL BE MITIGATED IN ACCORDANCE WITH FDOT INDEX 102-600. REFER TO FDOT INDEX NO. 102-600 FOR THE DEFINITION OF A DROP-OFF.

SYMBOLS:

- TOP OF CURB ELEV. PAVEMENT ELEV.
- PAVEMENT ELEV.
- PARKING SPACE COUNT
- DIRECTION OF FLOW
- SLOPE OF FLOW
- RIP RAP - GROUTED
- CLEAN OUT
- DOWN SPOUT
- STORM / SANITARY MANHOLE
- DITCH BOTTOM INLET
- MITERED END SECTION
- FLARED END SECTION
- "U" TYPE END WALL
- FLUME
- CURB INLETS
- NYLOPLAST DRAIN BASIN
- RETAINING WALL
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- WATER LINE FITTINGS
- GATE VALVE
- REDUCER
- PIPE CROSSING
- UTILITY POLE
- SITE LIGHTING
- FLAG POLE
- TRANSFORMER



PAINT STRIPING ABBREVIATIONS:

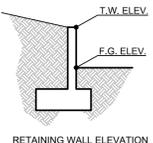
- SWSL - SINGLE WHITE SOLID LINE
- YSL - SINGLE YELLOW SOLID LINE
- DYSL - DOUBLE YELLOW SOLID LINE
- SWDL - SINGLE WHITE DASHED LINE
- SBYL - SINGLE BROKEN YELLOW LINE

LINE TYPES:

- GUIDE RAIL
- BASIN LINE
- BUILDING SETBACK LINE
- FENCE (AS NOTED ON PLAN)
- CABLE TELEVISION
- CONDUIT ELECTRIC
- CONDUIT TELEPHONE
- CONDUIT DATA
- CONSTRUCTION FENCE (AS NOTED ON PLAN)
- CONTOUR ELEVATION
- EASEMENT
- ELECTRIC LINE
- FIBER OPTIC
- FIRE WATER
- FORCE MAIN
- GAS LINE
- HIGH POINT
- IRRIGATION LINE
- LANDSCAPE BUFFER
- LIMITS OF DISTURBANCE
- OVERHEAD ELECTRIC
- PROPERTY LINE
- RAILROAD
- RECLAIM WATER
- SANITARY SEWER
- STORM PIPE
- TAMPER SWITCH
- TELEPHONE LINE
- TEMPORARY SILT FENCE
- UTILITY BOLLARD CONDUIT
- WATER MAIN
- WALL (AS NOTED ON PLAN)

ABBREVIATIONS:

- A/C - AIR CONDITIONER
- APPROX - APPROXIMATE
- ASPH - ASPHALT
- AVG - AVERAGE
- BFP - BACK FLOW PREVENTER
- BLK - BLOCK
- BLDG - BUILDING
- BOC - BACK OF CURB
- BOW - BACK OF WALL
- C & G - CURB & GUTTER
- CE - CONSTRUCTION ENTRANCE
- CL - CENTERLINE
- CMP - CORRUGATED METAL PIPE
- CO - CLEAN OUT
- CONC - CONCRETE
- DEPT - DEPARTMENT
- DS - DOWN SPOUT
- EM - ELECTRICAL
- ELEM - ELECTRICAL METER
- ELEV - ELEVATION
- EOP - EDGE OF PAVEMENT
- FDC - FIRE DEPARTMENT CONNECTION
- FDOT - FLORIDA DEPARTMENT OF TRANSPORTATION
- FF - FINISH FLOOR
- FG - FINISH GRADE
- FH - FIRE HYDRANT
- FM - FORCE MAIN
- FOC - FACE OF CURB
- FP&L - FLORIDA POWER AND LIGHT
- GOVT - GOVERNMENT
- HB - HOSE BIB
- HC - ADA ACCESSIBLE
- HDPE - HIGH DENSITY POLYETHYLENE PIPE
- INV - INVERT
- IRR - IRRIGATION
- ME - MATCH EXISTING ELEVATION
- MES - MITERED END SECTION
- MH - MANHOLE
- PVC - POLYVINYL CHLORIDE PIPE
- PVMT - PAVEMENT
- R - RADIUS
- RCP - REINFORCED CONCRETE PIPE
- REV - REVISION
- R/W - RIGHT-OF-WAY
- SF - SQUARE FEET
- SW - SIDEWALK
- TOB - TOP OF BANK
- TOE - TOE OF SLOPE
- TW - TOP OF WALL
- TYP - TYPICAL
- UNK - UNKNOWN
- UTL - UNDERGROUND TELEPHONE LINES
- W - WITH
- WV - WATER VALVE



SIGNS:

- BUS STOP (R7-7)
- DO NOT ENTER (R5-1)
- NO PARKING - FIRE LANE (R7-94)
- HANDICAP (FTP-25)
- KEEP RIGHT (R4-7A)
- KEEP LEFT (R4-8)
- LEFT TURN ONLY (R3-5L)
- MEDIAN (R4-7) (R4-8)
- NO DUMPING
- NO LEFT TURN (R3-2)
- NO LITTERING
- NO RIGHT TURN (R3-1)
- NO TRUCKS (R5-2A)
- NO PARKING (R7-1)
- NO PARKING LOADING ZONE (R7-6)
- ONE WAY (R6-1L) (R6-1R)
- PEDESTRIAN CROSSING (W11-2)
- RIGHT TURN ONLY (R3-5R)
- ROW NUMBER
- SPEED LIMIT (R2-X)
- STOP (R1-1)
- TOW AWAY ZONE (R7-201)
- TRUCK ENTRANCE
- WEIGHT LIMIT (R12-5)
- WRONG WAY (R5-1A)
- YIELD (R1-2)
- RESERVED DRIVE-THRU PARKING

NOTE:
ITEMS SHOWN DASHED / SCREENED REPRESENT EXISTING CONDITIONS. ITEMS SHOWN SOLID / BOLD REPRESENT PROPOSED CONDITIONS.

cph
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Surveyor No. LB7143
Architect No. AA26000296
Landscape No. LC000298

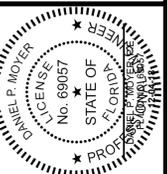


ADDENDUM NO. 1	12/04/18	10/26/18	OUT TO BID	Revision
No.	Date	Date	Date	Revision

Designed: K. Upp
Drawn: K. Upp
Checked: D. Moyer
Job No.: M13104.2
Date: 09/25/17 © 2018

GENERAL NOTES, LEGENDS AND SYMBOLS SHEET
PARKING LOT IMPROVEMENT PLANS FOR WARNER'S BAYOU
MANATEE COUNTY / FLORIDA

THIS SHEET NOT VALID FOR CONSTRUCTION WITHOUT COMPLETE SET OF PLANS. SEE GENERAL NOTES FOR MASTER LEGEND.
Sheet No.
CO.2



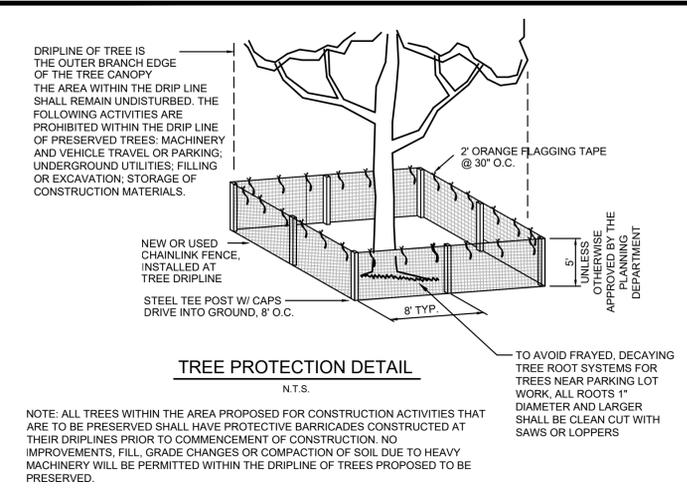
ADDENDUM NO. 1
12/04/18
10/26/18
OUT TO BID
No.
Date
Revision

Designed: K. Upp
Drawn: K. Upp
Checked: D. Moyer
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Date: 09/25/17
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STORMWATER POLLUTION PREVENTION PLAN
 PARKING LOT IMPROVEMENT PLANS FOR
WARNER'S BAYOU
 MANATEE COUNTY / FLORIDA

THIS SHEET NOT VALID FOR CONSTRUCTION WITHOUT COMPLETE SET OF PLANS. SEE GENERAL NOTES FOR MASTER LEGEND.

Sheet No.
C1.1

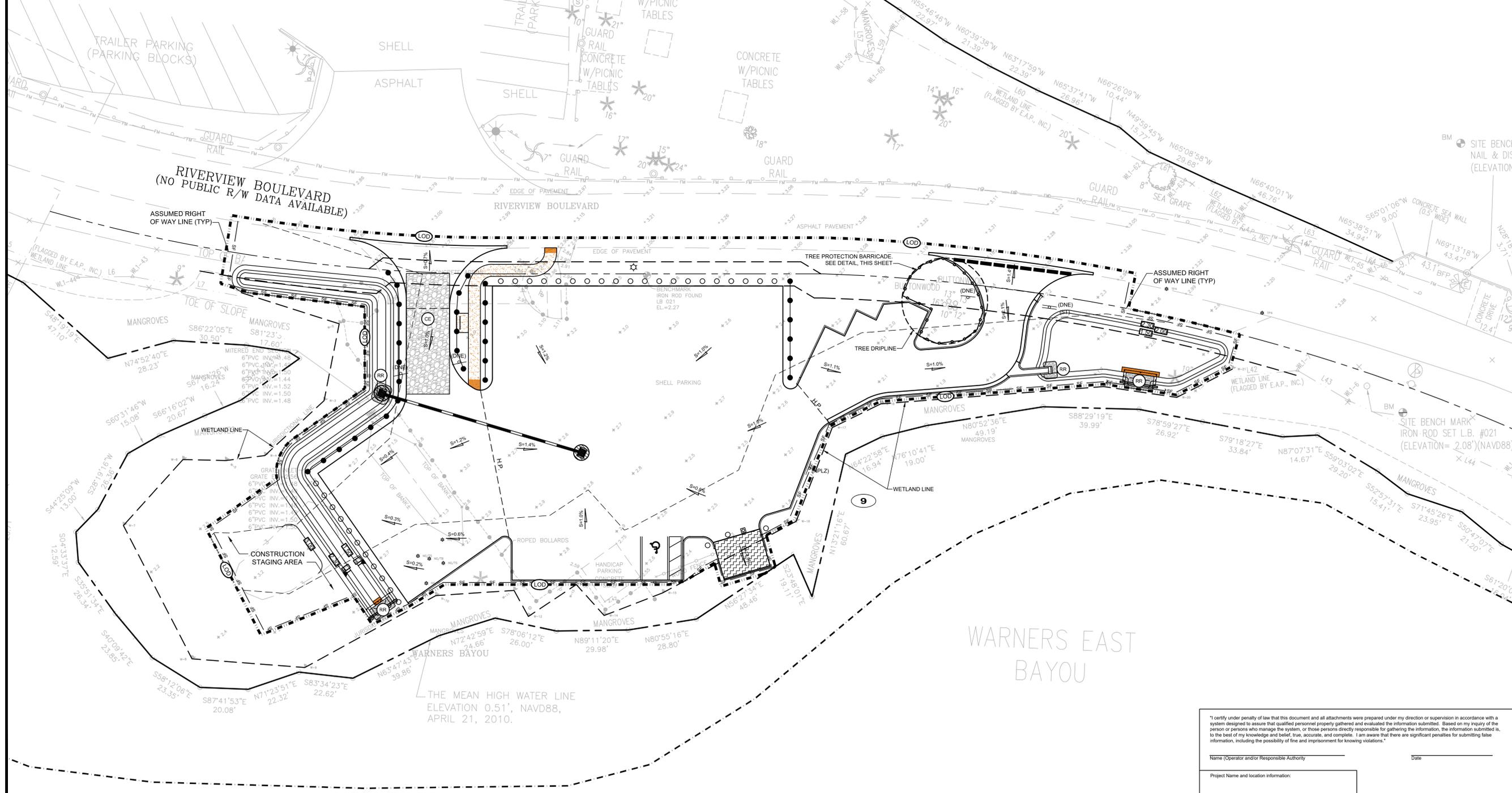
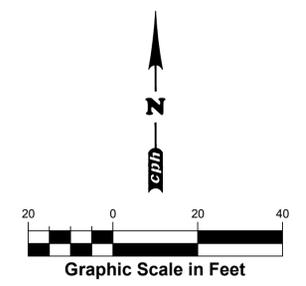


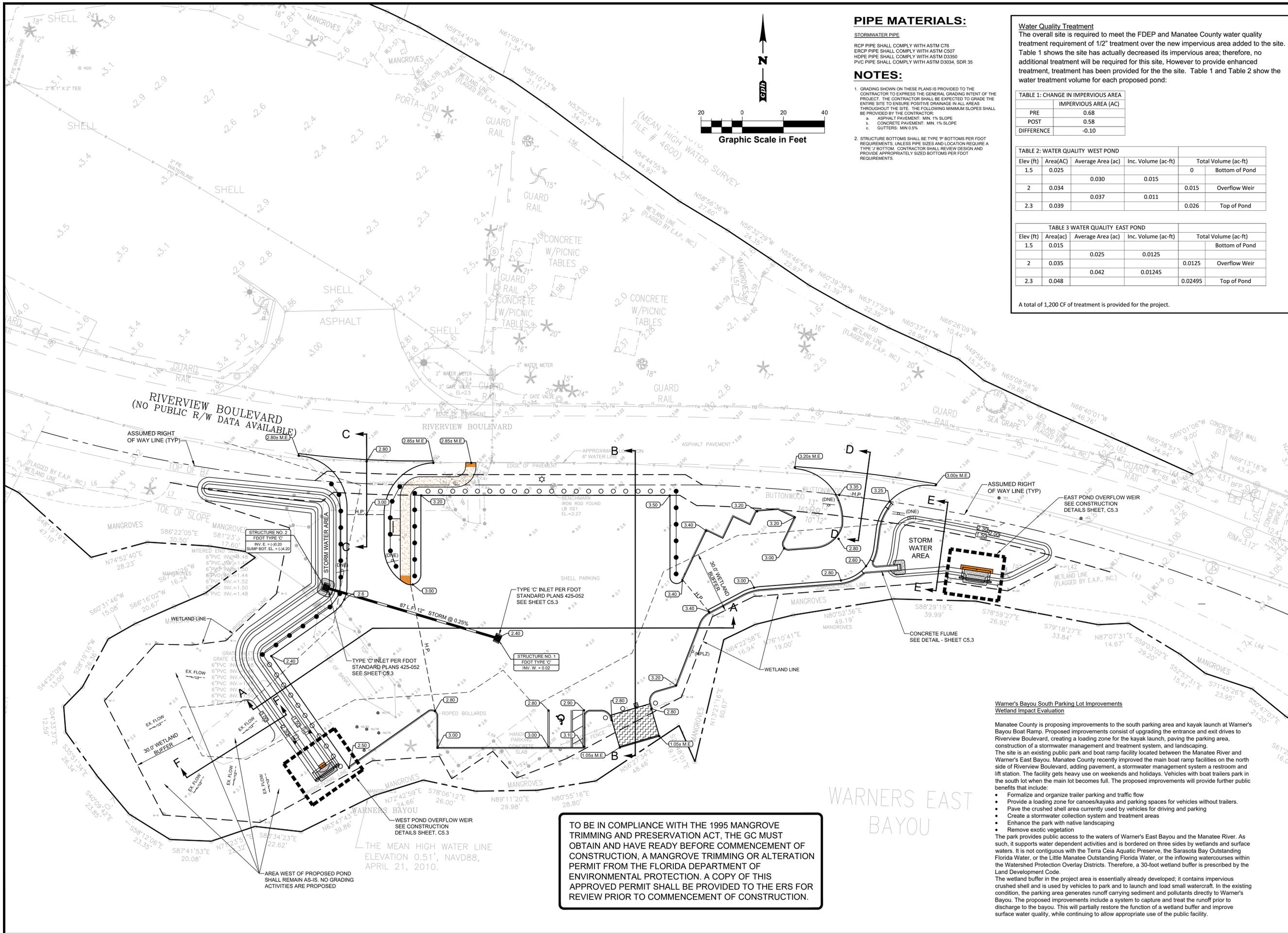
NOTES:
 BEST MANAGEMENT PRACTICES FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION INCLUDE THE FOLLOWING:
 ○ PLACE WEATHER RESISTANT SIGN EVERY 50' ALONG THE BARRIER, WITH 6" MINIMUM TEXT HEIGHT AND PROVIDE TEXT IN ENGLISH AND IN SPANISH. SIGN SHOULD READ "KEEP OUT TREE PROTECTION AREA".
 ○ AVOIDING PLACEMENT OF SILT FENCE UNDER TREE DRIP LINES, IF UNAVOIDABLE, FOLLOW INSTRUCTIONS BELOW:
 NOTE TO SILT FENCE INSTALLER: TO FACILITATE "EFFECTIVE" PRESERVATION OF TREES (THOSE WITH DRIP LINES DEPICTED ON PLAN) SILT FENCE SHALL NOT BE TRENCHED IN WITHIN DRIP LINES OF TREES WHERE AVOIDABLE. IF UNAVOIDABLE THEN INSTALL SILT FENCE AT GRADE (NO TRENCHING).

- LEGEND:**
- LOD --- LIMITS OF DISTURBANCE
 - SF --- SOIL BOUNDARY
 - SF --- SILT FENCE PER STATE OF FLORIDA EROSION AND SEDIMENT CONTROL MANUAL (LATEST EDITION)
 - BARRICADE (AT ALL ENTRANCE LOCATIONS W/O TEMPORARY CONSTRUCTION ACCESS)
 - INLET / FLUME PROTECTION
 - CONSTRUCTION ENTRANCE PER STATE OF FLORIDA EROSION AND SEDIMENT CONTROL MANUAL (LATEST EDITION)
 - RIPRAP - 1 - CY OF RUBBLE RIP RAP PER FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SPECIFICATION NO. 530
 - SOIL TYPE: CANAVERAL SAND, FILLED

ACREAGE SUMMARY

TOTAL SITE AREA	3.50 A.C.
TOTAL DISTURBED AREA	1.10 A.C.





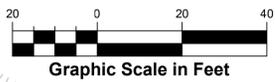
PIPE MATERIALS:

STORMWATER PIPE

RCP PIPE SHALL COMPLY WITH ASTM C76
 ERCP PIPE SHALL COMPLY WITH ASTM C507
 HDPE PIPE SHALL COMPLY WITH ASTM D3530
 PVC PIPE SHALL COMPLY WITH ASTM D3034, SDR 35

NOTES:

- GRADING SHOWN ON THESE PLANS IS PROVIDED TO THE CONTRACTOR TO EXPRESS THE GENERAL GRADING INTENT OF THE PROJECT. THE CONTRACTOR SHALL BE EXPECTED TO GRADE THE ENTIRE SITE TO ENSURE POSITIVE DRAINAGE IN ALL AREAS THROUGHOUT THE SITE. THE FOLLOWING MINIMUM SLOPES SHALL BE PROVIDED BY THE CONTRACTOR:
 - a. ASPHALT PAVEMENT: MIN. 1% SLOPE
 - b. CONCRETE PAVEMENT: MIN. 1% SLOPE
 - c. GUTTERS: MIN 0.5%
- STRUCTURE BOTTOMS SHALL BE TYPE "P" BOTTOMS PER FDOT REQUIREMENTS, UNLESS PIPE SIZES AND LOCATION REQUIRE A TYPE "F" BOTTOM. CONTRACTOR SHALL REVIEW DESIGN AND PROVIDE APPROPRIATELY SIZED BOTTOMS PER FDOT REQUIREMENTS.



Water Quality Treatment
 The overall site is required to meet the FDEP and Manatee County water quality treatment requirement of 1/2" treatment over the new impervious area added to the site. Table 1 shows the site has actually decreased its impervious area; therefore, no additional treatment will be required for this site. However to provide enhanced treatment, treatment has been provided for the the site. Table 1 and Table 2 show the water treatment volume for each proposed pond:

TABLE 1: CHANGE IN IMPERVIOUS AREA

	IMPERVIOUS AREA (AC)
PRE	0.68
POST	0.58
DIFFERENCE	-0.10

TABLE 2: WATER QUALITY WEST POND

Elev (ft)	Area(AC)	Average Area (ac)	Inc. Volume (ac-ft)	Total Volume (ac-ft)
1.5	0.025	0.030	0.015	0
2	0.034	0.037	0.011	0.015
2.3	0.039			0.026

TABLE 3 WATER QUALITY EAST POND

Elev (ft)	Area(ac)	Average Area (ac)	Inc. Volume (ac-ft)	Total Volume (ac-ft)
1.5	0.015	0.025	0.0125	0
2	0.035	0.042	0.01245	0.0125
2.3	0.048			0.02495

A total of 1,200 CF of treatment is provided for the project.



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 Plans Prepared By:
 CPH, Inc.
 State of Florida Licenses:
 Engineer No. 3215
 Surveyor No. LB7143
 Architect No. AA2600926
 Landscape No. LC000298



No.	Date	Revision
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2	10/26/18	OUT TO BID

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GRADING AND STORM DRAINAGE PLAN
PARKING LOT IMPROVEMENT PLANS FOR
WARNER'S BAYOU
 MANATEE COUNTY / FLORIDA

THIS SHEET NOT VALID FOR CONSTRUCTION WITHOUT COMPLETE SET OF PLANS. SEE GENERAL NOTES FOR MASTER LEGEND.
 Sheet No.
C1.4

TO BE IN COMPLIANCE WITH THE 1995 MANGROVE TRIMMING AND PRESERVATION ACT, THE GC MUST OBTAIN AND HAVE READY BEFORE COMMENCEMENT OF CONSTRUCTION, A MANGROVE TRIMMING OR ALTERATION PERMIT FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION. A COPY OF THIS APPROVED PERMIT SHALL BE PROVIDED TO THE ERS FOR REVIEW PRIOR TO COMMENCEMENT OF CONSTRUCTION.

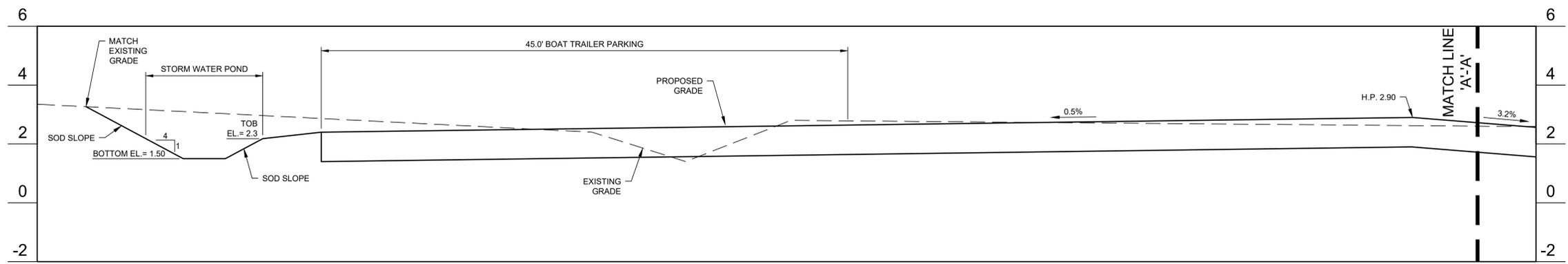
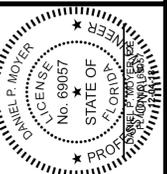
Warner's Bayou South Parking Lot Improvements Wetland Impact Evaluation

Manatee County is proposing improvements to the south parking area and kayak launch at Warner's Bayou Boat Ramp. Proposed improvements consist of upgrading the entrance and exit drives to Riverview Boulevard, creating a loading zone for the kayak launch, paving the parking area, construction of a stormwater management and treatment system, and landscaping. The site is an existing public park and boat ramp facility located between the Manatee River and Warner's East Bayou. Manatee County recently improved the main boat ramp facilities on the north side of Riverview Boulevard, adding pavement, a stormwater management system a restroom and lift station. The facility gets heavy use on weekends and holidays. Vehicles with boat trailers park in the south lot when the main lot becomes full. The proposed improvements will provide further public benefits that include:

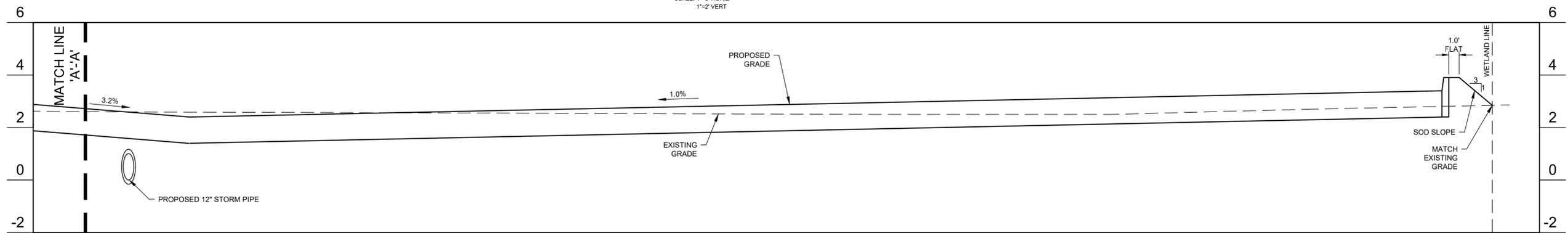
- Formalize and organize trailer parking and traffic flow
- Provide a loading zone for canoes/kayaks and parking spaces for vehicles without trailers.
- Pave the crushed shell area currently used by vehicles for driving and parking
- Create a stormwater collection system and treatment areas
- Enhance the park with native landscaping
- Remove exotic vegetation

The park provides public access to the waters of Warner's East Bayou and the Manatee River. As such, it supports water dependent activities and is bordered on three sides by wetlands and surface waters. It is not contiguous with the Terra Ceia Aquatic Preserve, the Sarasota Bay Outstanding Florida Water, or the Little Manatee Outstanding Florida Water, or the inflowing watercourses within the Watershed Protection Overlay Districts. Therefore, a 30-foot wetland buffer is prescribed by the Land Development Code.

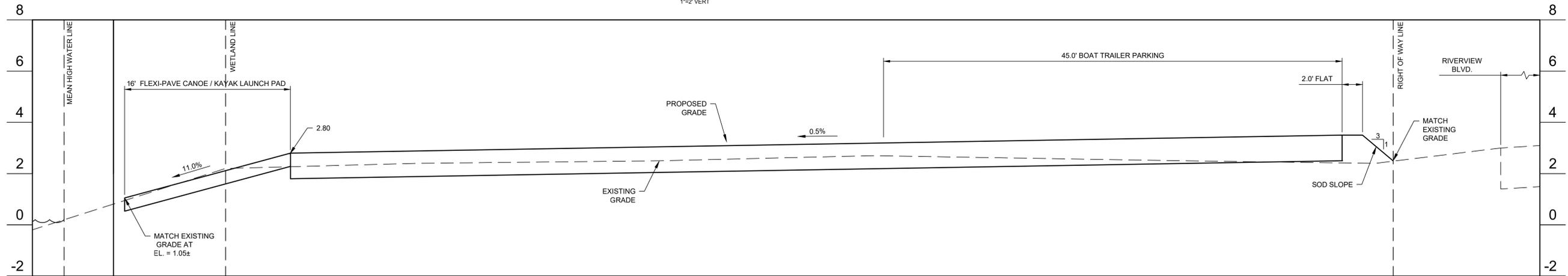
The wetland buffer in the project area is essentially already developed; it contains impervious crushed shell and is used by vehicles to park and to launch and load small watercraft. In the existing condition, the parking area generates runoff carrying sediment and pollutants directly to Warner's Bayou. The proposed improvements include a system to capture and treat the runoff prior to discharge to the bayou. This will partially restore the function of a wetland buffer and improve surface water quality, while continuing to allow appropriate use of the public facility.



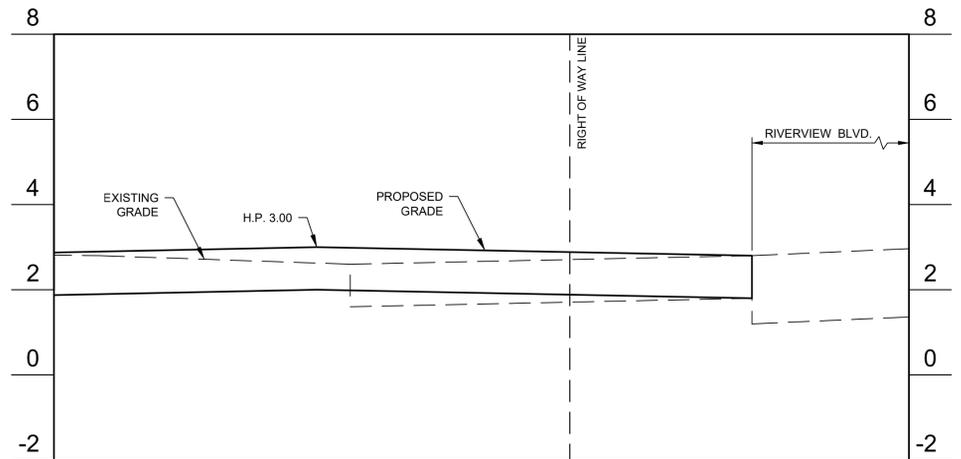
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 SCALE: 1"=5' HORIZ
 1"=2' VERT



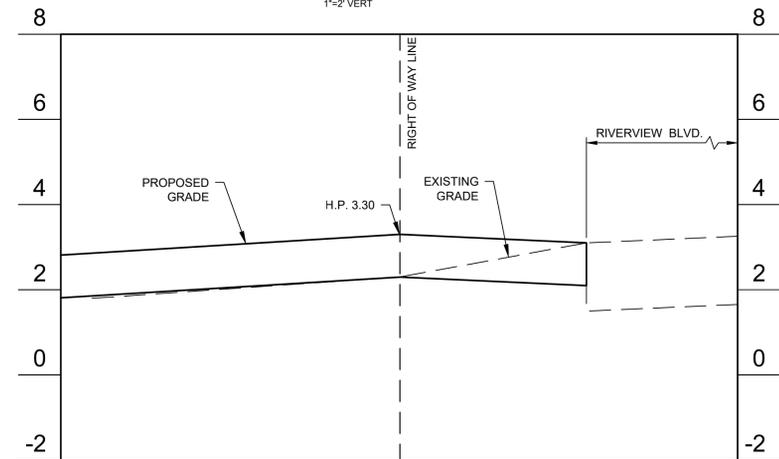
SECTION 'A'-'A'
 SCALE: 1"=5' HORIZ
 1"=2' VERT



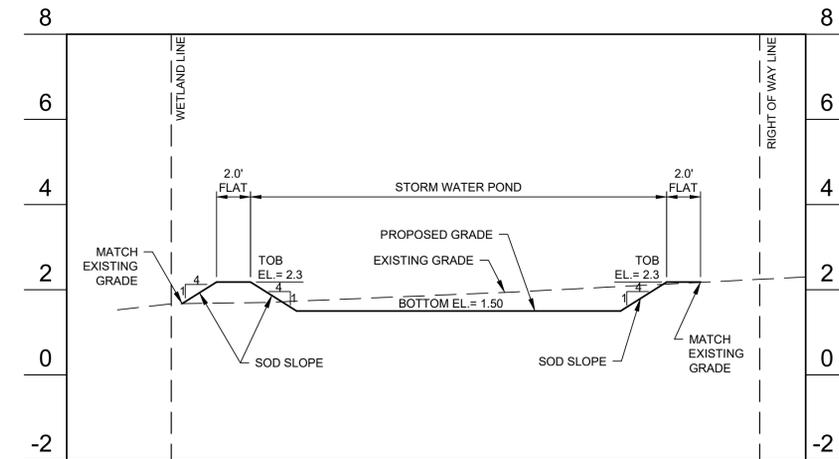
SECTION 'B'-'B'
 SCALE: 1"=5' HORIZ
 1"=2' VERT



SECTION 'C'-'C'
 SCALE: 1"=5' HORIZ
 1"=2' VERT



SECTION 'D'-'D'
 SCALE: 1"=5' HORIZ
 1"=2' VERT

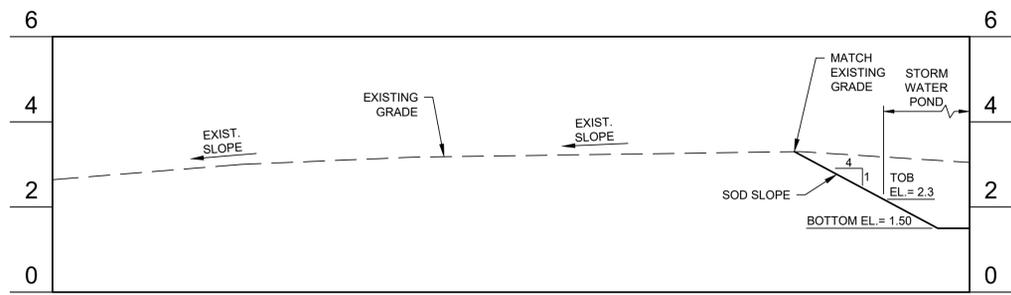


SECTION 'E'-'E'
 SCALE: 1"=5' HORIZ
 1"=2' VERT

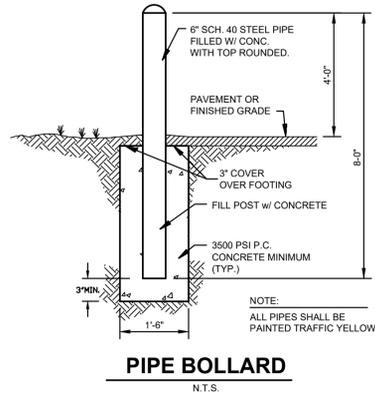
No.	Date	Revision
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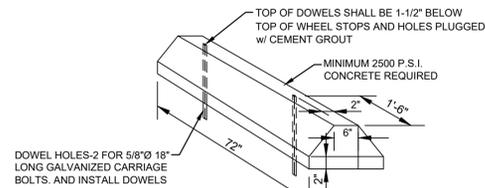
CONSTRUCTION DETAILS SHEET
PARKING LOT IMPROVEMENT PLANS FOR
WARNER'S BAYOU
 MANATEE COUNTY / FLORIDA



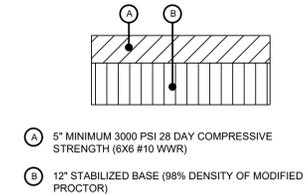
SECTION 'F'-'F'
SCALE: 1"=5' HORIZ
1"=2' VERT



PIPE BOLLARD
N.T.S.



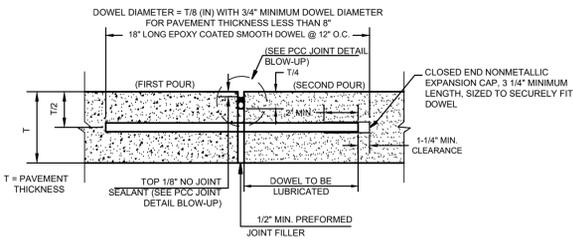
CONCRETE WHEEL STOP DETAIL
N.T.S.



STANDARD DUTY CONCRETE PAVEMENT
N.T.S.

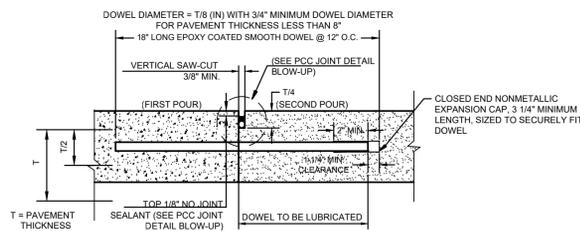
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Surveyor No. LB7143
Architect No. AA26000926
Landscape No. LC000298

PROFESSIONAL SEAL
DANIEL P. MOYER
LICENSE
No. 69057
STATE OF
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REGISTERED PROFESSIONAL ENGINEER
CIVIL



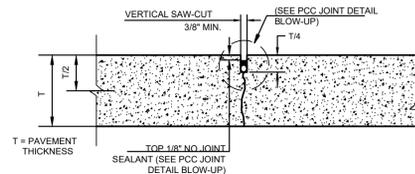
- NOTES:**
1. DOWELS SHALL BE SUPPORTED BY AN APPROVED DEVICE, DRILLING BY HAND OR PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE.
2. TO BE PROVIDED WHERE CONCRETE PAVEMENT ABUTS KAYAK LAUNCH, ROADWAY PAVEMENT AND ADA RAMP.

TRANSVERSE EXPANSION JOINT



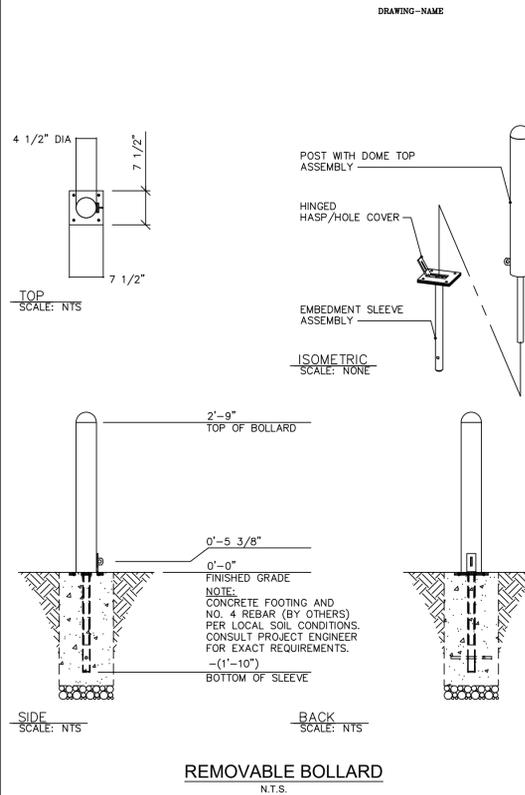
- NOTE:**
1. DOWELS SHALL BE SUPPORTED BY AN APPROVED DEVICE, DRILLING BY HAND OR PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE.

CONSTRUCTION JOINT



- NOTE:**
1. SPACING NOT TO EXCEED 10' IN ANY DIRECTION

CONTRACTION JOINT

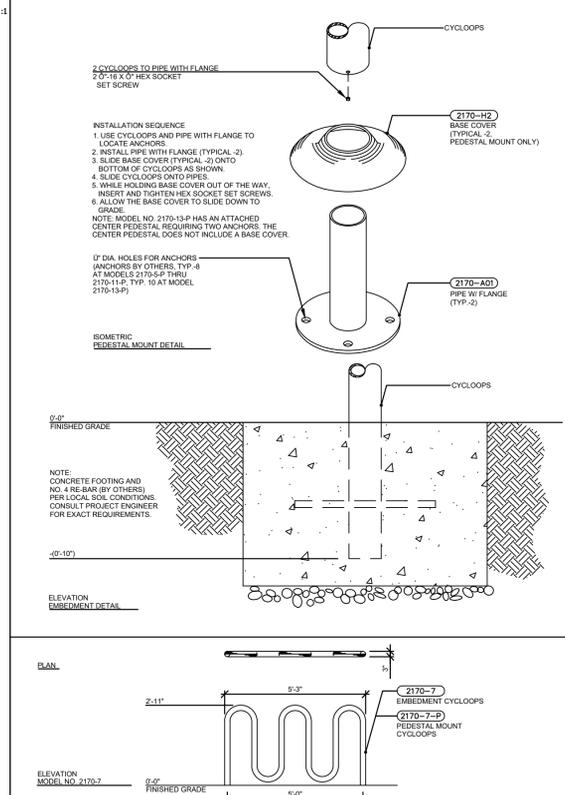


TOP SCALE: N.T.S.

SIDE SCALE: N.T.S.

BACK SCALE: N.T.S.

REMOVABLE BOLLARD
N.T.S.



- INSTALLATION SEQUENCE:**
1. USE CYCLOOPS AND PIPE WITH FLANGE TO LOCATE ANCHORS.
2. INSTALL PIPE WITH FLANGE (TYPICAL -2).
3. SLIDE BASE COVER (TYPICAL -2) ONTO BOTTOM OF CYCLOOPS AS SHOWN.
4. SLIDE CYCLOOPS ONTO PIPES.
5. WHILE HOLDING BASE COVER OUT OF THE WAY, INSERT AND TIGHTEN HEX SOCKET SET SCREWS.
6. ALLOW THE BASE COVER TO SLIDE DOWN TO GRADE.
NOTE: MODEL NO. 2170-13-P HAS AN ATTACHED CENTER PEDESTAL REQUIRING TWO ANCHORS. THE CENTER PEDESTAL DOES NOT INCLUDE A BASE COVER.

- NOTE:** CONCRETE FOOTING AND NO. 4 REBAR (BY OTHERS) PER LOCAL SOIL CONDITIONS. CONSULT PROJECT ENGINEER FOR EXACT REQUIREMENTS.

ISOMETRIC PEDESTAL MOUNT DETAIL

0'-0" FINISHED GRADE

0'-0" FINISHED GRADE

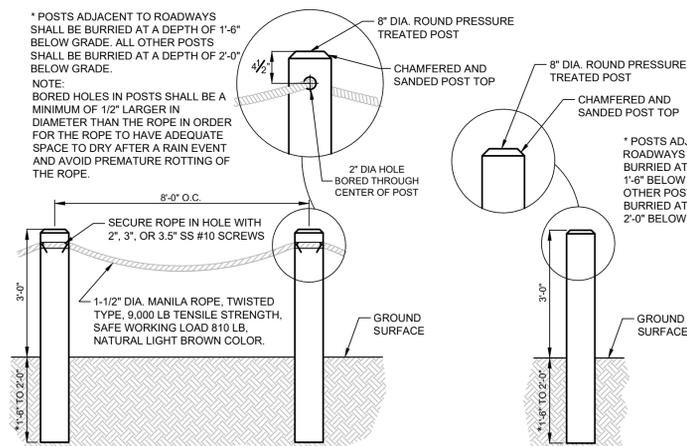
ELEVATION EMBEDMENT DETAIL

PLAN

ELEVATION MODEL NO. 2170-7

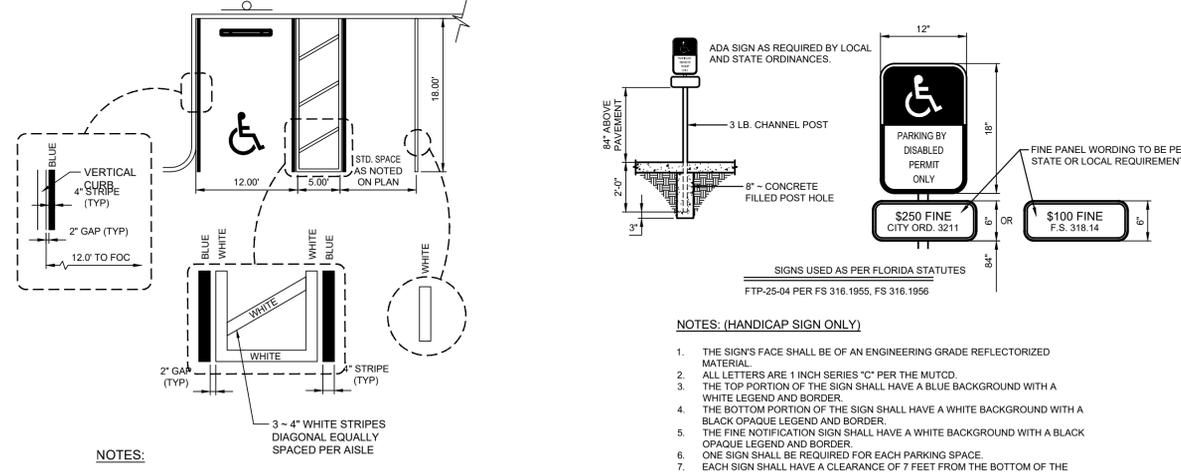
DATE	REVISION	BY	DESCRIPTION
07-28-07	DEL. R170-08	BA/7B	REVISION
08-24-04	ADD R170-9	BA/7B	REVISION
10-20-08	ADD R170-10	BA/7B	REVISION
10-20-08	ADD R170-11	BA/7B	REVISION

DATE	REVISION	BY	DESCRIPTION
07-28-07	DEL. R170-08	BA/7B	REVISION
08-24-04	ADD R170-9	BA/7B	REVISION
10-20-08	ADD R170-10	BA/7B	REVISION
10-20-08	ADD R170-11	BA/7B	REVISION



POST AND ROPE DETAIL
N.T.S.

WOOD BOLLARD DETAIL
N.T.S.



- NOTES:**
1. DIMENSIONS ARE FROM CENTER OF WHITE LINE TO CENTER OF WHITE LINE.
2. GUTTER PANS CAN BE INCLUDED IN THE WIDTH AND LENGTH OF THE PARKING SPACE, HOWEVER, THEY MUST NOT EXCEED 1.5% CROSS SLOPE.
3. STRIPES REPRESENTED IN THIS DETAIL ARE 4" WIDE (TYP.) GOVERNING CODE REQUIREMENTS MAY DIFFER.

HANDICAP STRIPING DETAIL
N.T.S.

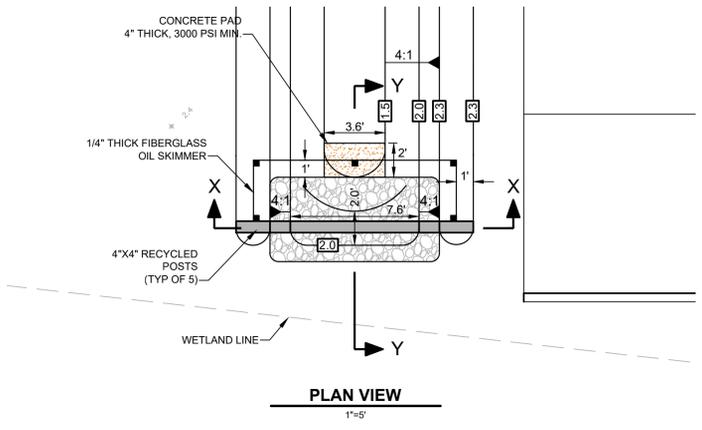
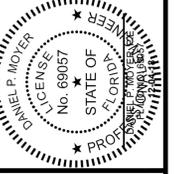
- NOTES: (HANDICAP SIGN ONLY)**
1. THE SIGN'S FACE SHALL BE OF AN ENGINEERING GRADE REFLECTORIZED MATERIAL.
2. ALL LETTERS ARE 1 INCH SERIES "C" PER THE MUTCD.
3. THE TOP PORTION OF THE SIGN SHALL HAVE A BLUE BACKGROUND WITH A WHITE LEGEND AND BORDER.
4. THE BOTTOM PORTION OF THE SIGN SHALL HAVE A WHITE BACKGROUND WITH A BLACK OPAQUE LEGEND AND BORDER.
5. THE FINE NOTIFICATION SIGN SHALL HAVE A WHITE BACKGROUND WITH A BLACK OPAQUE LEGEND AND BORDER.
6. ONE SIGN SHALL BE REQUIRED FOR EACH PARKING SPACE.
7. EACH SIGN SHALL HAVE A CLEARANCE OF 7 FEET FROM THE BOTTOM OF THE SIGN TO FINAL GRADE OR THE TOP OF CURB, WHICHEVER IS GREATER. SIGNS SHALL NOT BE FARTHER THAN 5 FEET FROM THE FRONT OF THE PARKING SPACE.
8. ALL SIGNS SHALL BE MOUNTED ON 3 POUND CHANNEL POSTS. SIGNS MAY BE MOUNTED ON BUILDINGS WITH CITY APPROVAL.

ACCESSIBLE SIGN
N.T.S.

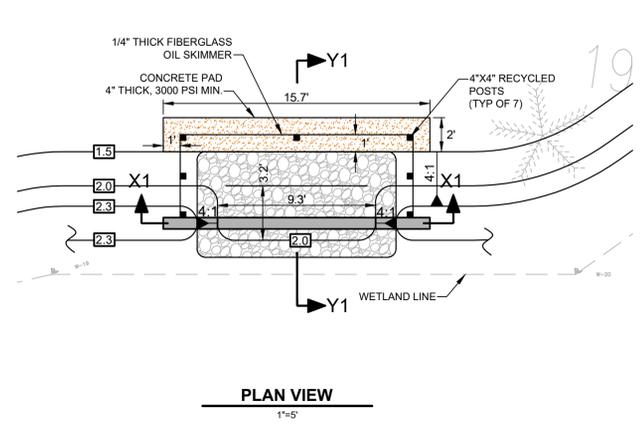
CONSTRUCTION DETAILS SHEET
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MANATEE COUNTY / FLORIDA

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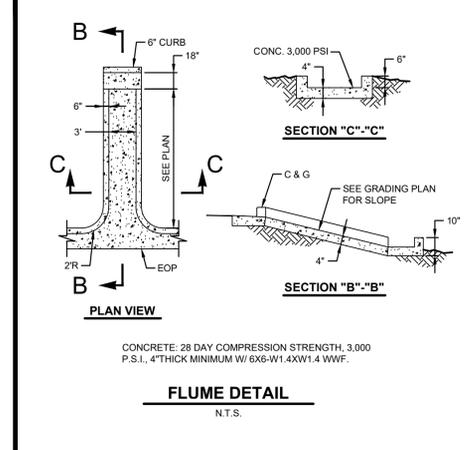
Sheet No.
C5.2



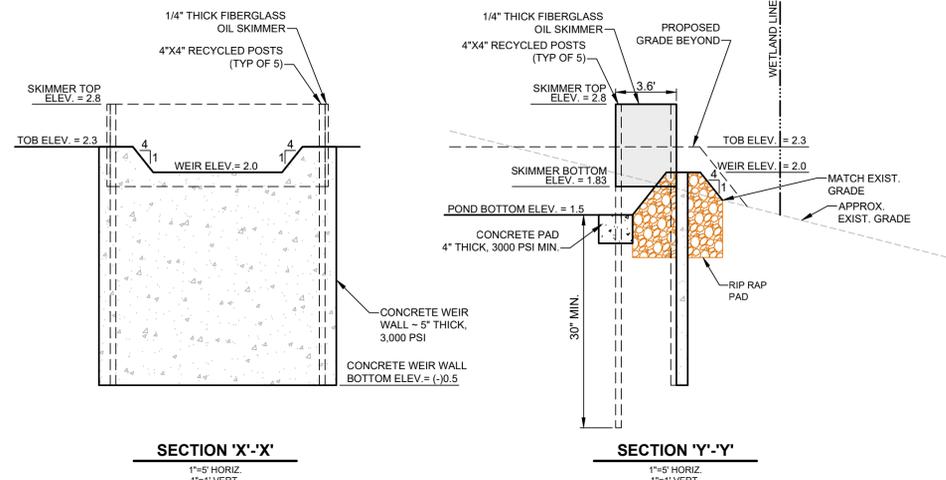
PLAN VIEW
1"=5'



PLAN VIEW
1"=5'



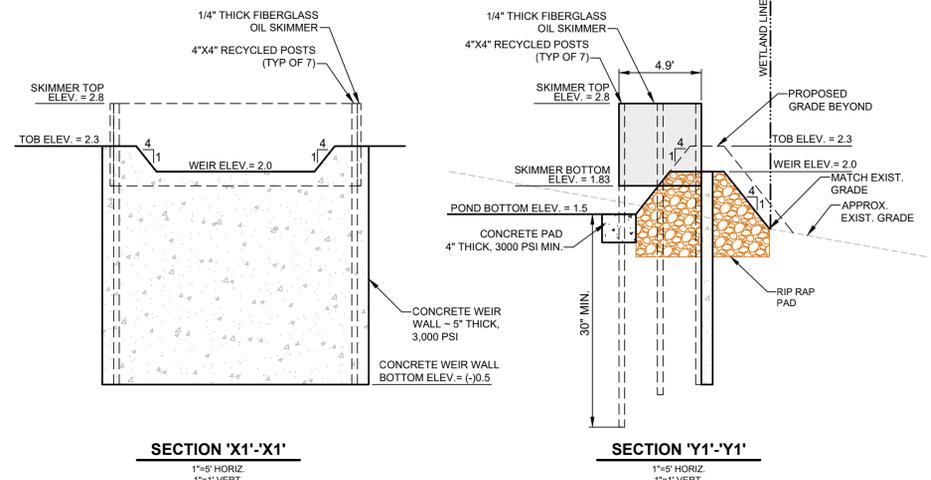
FLUME DETAIL
N.T.S.



SECTION 'X'-'X'
1"=5' HORIZ
1"=1' VERT.

SECTION 'Y'-'Y'
1"=5' HORIZ
1"=1' VERT.

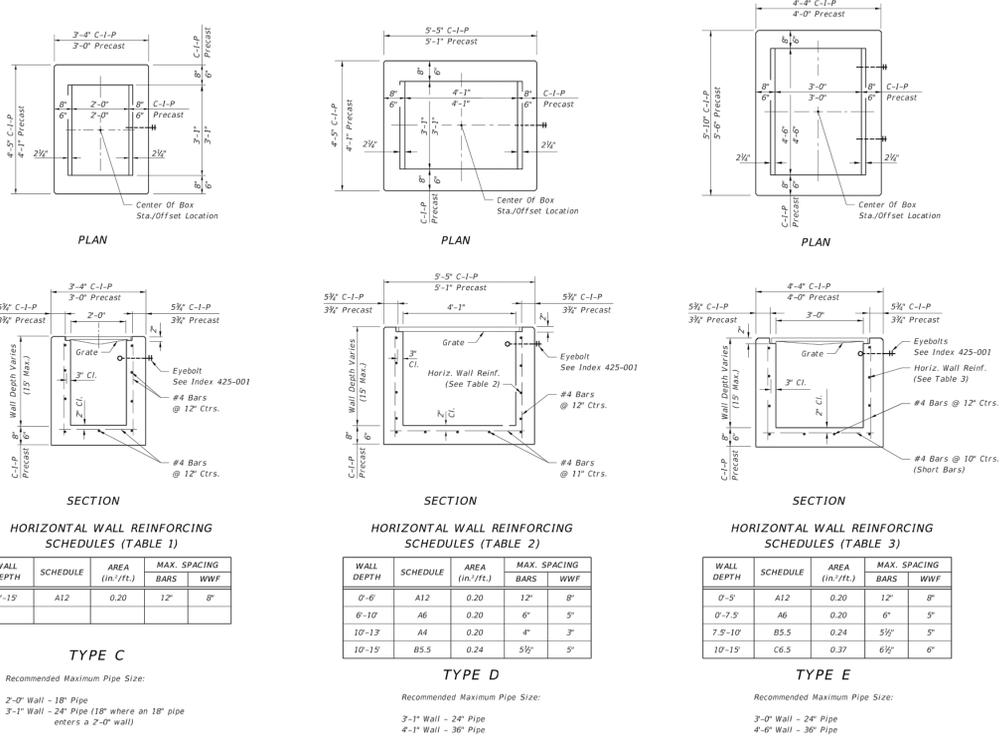
WEST POND OVERFLOW WEIR
SCALE: AS NOTED



SECTION 'X1'-'X1'
1"=5' HORIZ
1"=1' VERT.

SECTION 'Y1'-'Y1'
1"=5' HORIZ
1"=1' VERT.

EAST POND OVERFLOW WEIR
SCALE: AS NOTED



HORIZONTAL WALL REINFORCING SCHEDULES (TABLE 1)

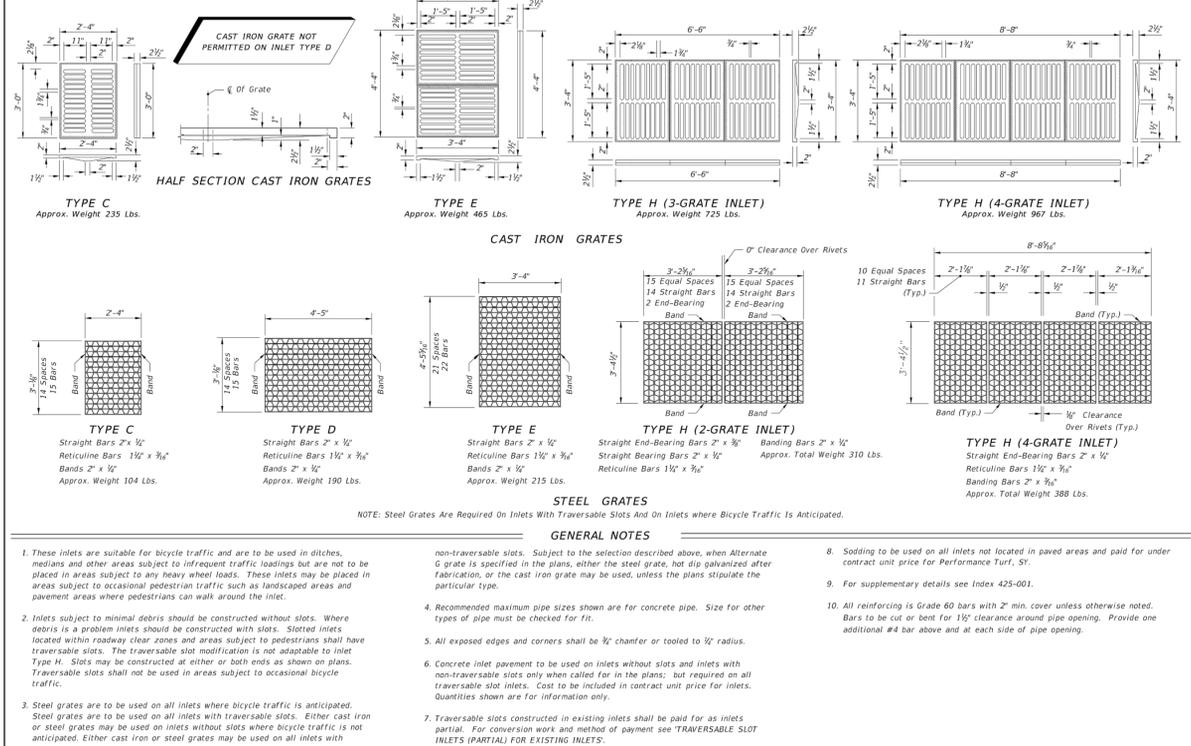
WALL DEPTH	SCHEDULE	AREA (in. ² /ft.)	MAX. SPACING BARS	WWF
0'-15"	A12	0.20	12"	8"

HORIZONTAL WALL REINFORCING SCHEDULES (TABLE 2)

WALL DEPTH	SCHEDULE	AREA (in. ² /ft.)	MAX. SPACING BARS	WWF
0'-6"	A12	0.20	12"	8"
0'-10"	A6	0.20	6"	5"
10'-13"	A4	0.24	4"	3"
10'-15"	B5.5	0.24	5 1/2"	5"

HORIZONTAL WALL REINFORCING SCHEDULES (TABLE 3)

WALL DEPTH	SCHEDULE	AREA (in. ² /ft.)	MAX. SPACING BARS	WWF
0'-5"	A12	0.20	12"	8"
0'-7.5"	A6	0.20	6"	5"
7.5'-10'	B5.5	0.24	5 1/2"	5"
10'-15"	C6.5	0.37	6 1/2"	6"



TYPE C
Approx. Weight 235 Lbs.

TYPE E
Approx. Weight 465 Lbs.

TYPE H (3-GRATE INLET)
Approx. Weight 725 Lbs.

TYPE H (4-GRATE INLET)
Approx. Weight 967 Lbs.

TYPE C
Straight Bars 2" x 1/2"
Reticuline Bars 1 1/2" x 3/8"
Bands 2" x 1/2"
Approx. Weight 104 Lbs.

TYPE D
Straight Bars 2" x 1/2"
Reticuline Bars 1 1/2" x 3/8"
Bands 2" x 1/2"
Approx. Weight 104 Lbs.

TYPE E
Straight Bars 2" x 1/2"
Reticuline Bars 1 1/2" x 3/8"
Bands 2" x 1/2"
Approx. Weight 215 Lbs.

TYPE H (2-GRATE INLET)
Straight End-Bearing Bars 2" x 1/2"
Straight Bearing Bars 2" x 1/2"
Reticuline Bars 1 1/2" x 3/8"
Banding Bars 2" x 3/8"
Approx. Total Weight 310 Lbs.

TYPE H (4-GRATE INLET)
Straight End-Bearing Bars 2" x 1/2"
Straight Bearing Bars 2" x 1/2"
Reticuline Bars 1 1/2" x 3/8"
Banding Bars 2" x 3/8"
Approx. Total Weight 388 Lbs.

- GENERAL NOTES**
- These inlets are suitable for bicycle traffic and are to be used in ditches, medians and other areas subject to infrequent traffic loadings but are not to be placed in areas subject to any heavy wheel loads. These inlets may be placed in areas subject to occasional pedestrian traffic such as landscaped areas and pavement areas where pedestrians can walk around the inlet.
 - Inlets subject to minimal debris should be constructed without slots. Where debris is a problem inlets should be constructed with slots. Slotted inlets located within roadway clear zones and areas subject to pedestrian traffic shall have traversable slots. The traversable slot modification is not adaptable to inlet Type H. Slots may be constructed at either or both ends as shown on plans. Traversable slots shall not be used in areas subject to occasional bicycle traffic.
 - Steel grates are to be used on all inlets where bicycle traffic is anticipated. Steel grates are to be used on all inlets with traversable slots. Either cast iron or steel grates may be used on inlets without slots where bicycle traffic is not anticipated. Either cast iron or steel grates may be used on all inlets with non-traversable slots. Subject to the selection described above, when Alternate G grate is specified in the plans, either the steel grate, hot dip galvanized after fabrication, or the cast iron grate may be used, unless the plans stipulate the particular type.
 - Recommended maximum pipe sizes shown are for concrete pipe. Size for other types of pipe must be checked for fit.
 - All exposed edges and corners shall be 1/2" chamfer or tool to 1/2" radius.
 - Concrete inlet pavement to be used on inlets without slots and inlets with non-traversable slots only when called for in the plans; but required on all traversable slot inlets. Cost to be included in contract unit price for inlets. Quantities shown are for information only.
 - Traversable slots constructed in existing inlets shall be paid for as inlets partial. For conversion work and method of payment see TRAVERSABLE SLOT INLETS (PARTIAL) FOR EXISTING INLETS.
 - Soldering to be used on all inlets not located in paved areas and paid for under contract unit price for Performance Tuff, 57.
 - For supplementary details see Index 425-001.
 - All reinforcing is Grade 60 bars with 2" min. cover unless otherwise noted. Bars to be cut or bent for 1 1/2" clearance around pipe opening. Provide one additional #4 bar above and at each side of pipe opening.

No.	Date	Revision
1	12/04/18	ADDENDUM NO. 1
2	10/26/18	OUT TO BID

Designed: K. Upp
 Drawn: K. Upp
 Checked: D. Moyer
 Job No.: M13104.2
 Date: 09/25/17 © 2018

CONSTRUCTION DETAILS SHEET
PARKING LOT IMPROVEMENT PLANS FOR WARNER'S BAYOU
 MANATEE COUNTY / FLORIDA

No.	Date	Revision
1	10/26/18	OUT TO BID
2	08/23/18	PER ERS COMMENTS
3	08/XX/18	PER COUNTY / IDEP COMMENTS

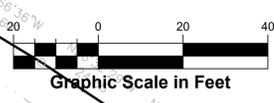
Designed: K. Upp
 Drawn: K. Upp
 Checked: D. Moyer
 Job No.: M13104.2
 Date: 09/25/17 © 2018

LANDSCAPE PLAN
PARKING LOT IMPROVEMENT PLANS FOR
WARNER'S BAYOU
 MANATEE COUNTY / FLORIDA

THIS SHEET NOT VALID FOR
 CONSTRUCTION WITHOUT
 COMPLETE SET OF PLANS.
 SEE GENERAL NOTES FOR
 MASTER LEGEND.

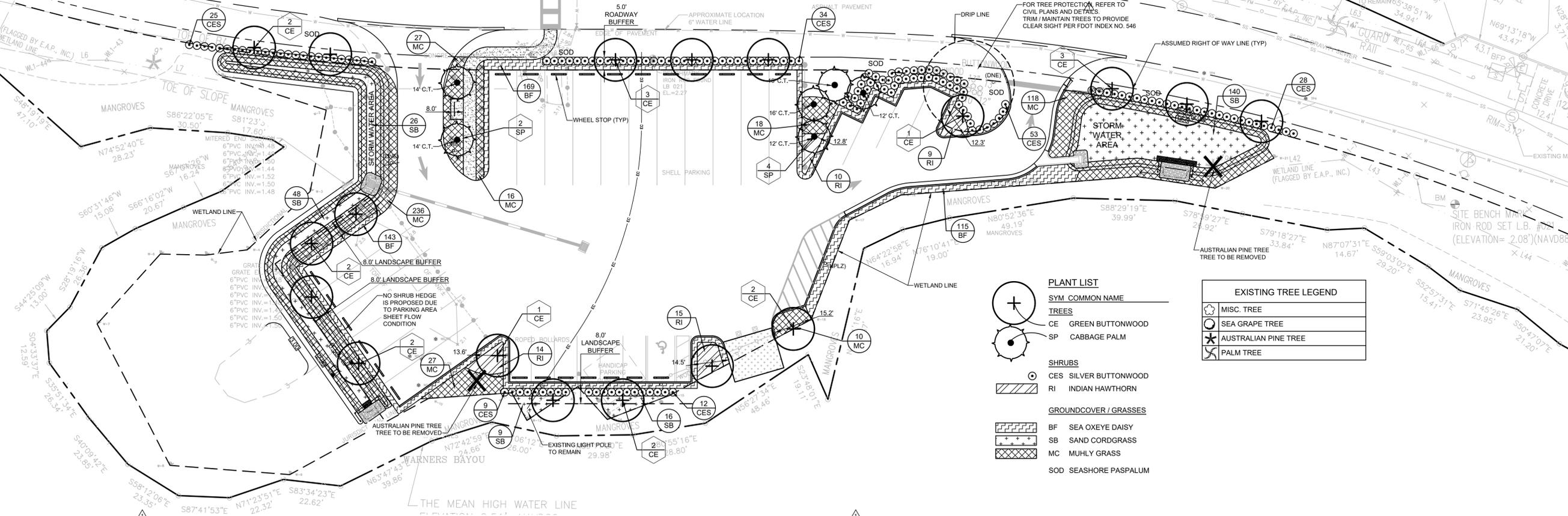
Sheet No.
L1.1

NOTE:
 1. THIS PLAN CALLS FOR THE REMOVAL OF ALL EXOTIC INVASIVE SPECIES INCLUDING THE AUSTRALIAN PINES. HOWEVER, DUE TO BUDGET CONSTRAINTS THE COUNTY MAY OPT TO POSTPONE THE REMOVAL OF ALL TREES NOT DIRECTLY AFFECTED BY CONSTRUCTION UNTIL FUNDING IS AVAILABLE.
 2. IMMEDIATELY PRIOR TO REMOVAL, TREES MUST BE CERTIFIED BY A QUALIFIED PERSON TO BE FREE OF ACTIVE BIRD NESTS.
 3. REFER TO THE CIVIL PLANS AND DETAILS FOR TREE PROTECTION.



ROADWAY BUFFER - 425 LF
 REQUIREMENT: 2 CANOPY TREES / 100 LF
 33 SHRUBS / 100 LF
 4.25 x 2 = 8.5 CANOPY TREES
 4.25 x 33 = 140.25 SHRUBS
 PROVIDED: 8 CANOPY TREES
 140 SHRUBS

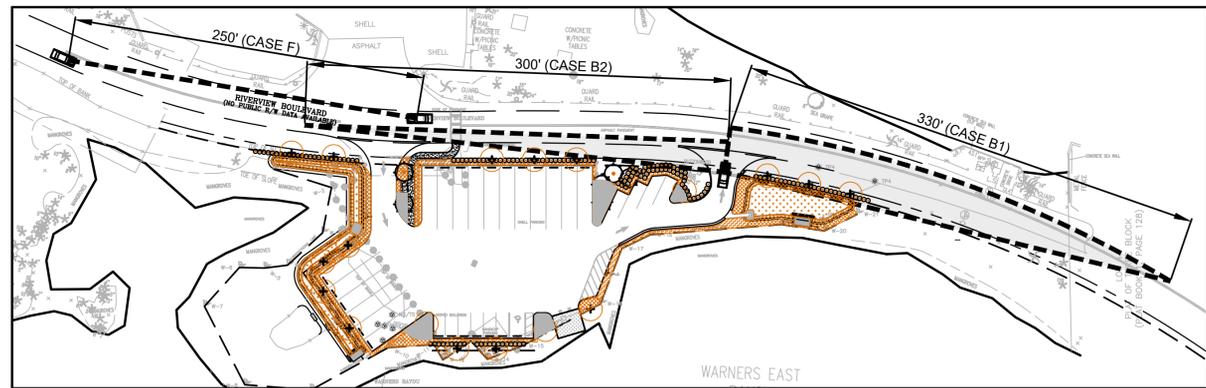
RIVERVIEW BOULEVARD
 (NO PUBLIC R/W DATA AVAILABLE)



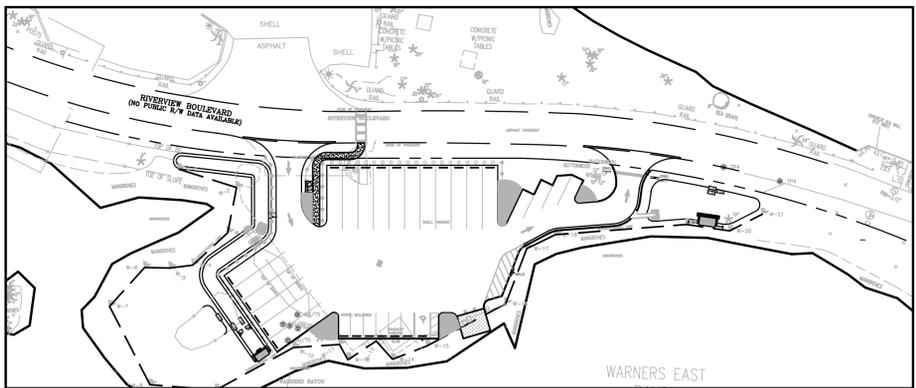
- PLANT LIST**
 SYM COMMON NAME
TREES
 CE GREEN BUTTWOOD
 SP CABBAGE PALM
SHRUBS
 CES SILVER BUTTWOOD
 RI INDIAN HAWTHORN
GROUNDCOVER / GRASSES
 BF SEA OXEYE DAISY
 SB SAND CORDGRASS
 MC MUHLY GRASS
 SOD SEASHORE PASPALUM

EXISTING TREE LEGEND

(Symbol)	MISC. TREE
(Symbol)	SEA GRAPE TREE
(Symbol)	AUSTRALIAN PINE TREE
(Symbol)	PALM TREE



INTERSECTION SIGHT DISTANCE
 1"=60'



VEHICULAR USE LANDSCAPE AREA GRAPHIC
 1"=60'

VEHICULAR USE LANDSCAPE DATA

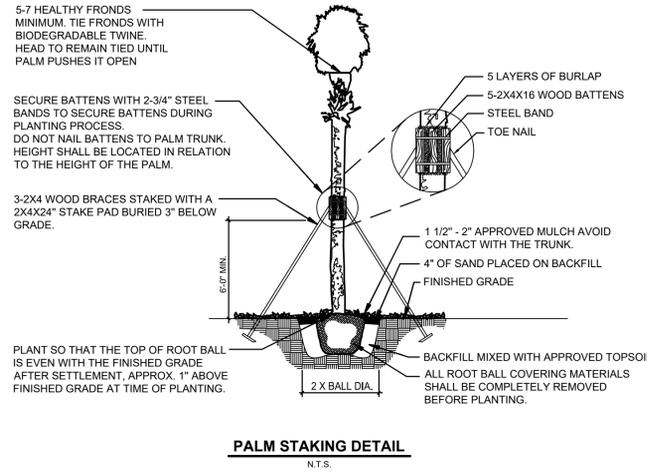
REQUIRED AREA:	504 SF
360 SF / 20 PARKING SPACES	
28 PROPOSED PARKING SPACES / 20 = 1.4	
1.4 x 360 SF =	504 SF
PROPOSED AREA:	1056 SF
REQUIRED TREES:	6 CANOPY TREES
4 CANOPY TREES / 20 PARKING SPACES	
4 x 1.4 =	5.6 CANOPY TREES
PROPOSED TREES:	6 CANOPY TREES
REQUIRED SHRUBS:	28 SHRUBS
20 SHRUBS / 20 PARKING SPACES	
20 x 1.4 =	28 SHRUBS
PROPOSED SHRUBS:	



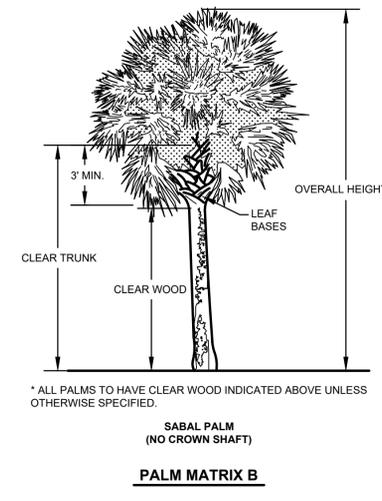
THIS SHEET NOT VALID FOR
 CONSTRUCTION UNLESS
 STAMPED APPROVED

LANDSCAPE NOTES:

- The Landscape Contractor shall be responsible for all materials and all work as called for on the Landscape Plans and in the Landscape Specifications. In the event of variations between the plans and the specifications, the plans shall control. The Landscape Contractor shall verify all quantities and report any discrepancies at the time of bidding.
- The Landscape Contractor shall review architectural/engineering plans and become thoroughly familiar with surface and subsurface utilities.
- Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. Locations of existing buried utility lines shown on the plans are based upon best available information and are considered to be approximate. It shall be the responsibility of the contractor to verify the locations of utility lines within and adjacent to the work area to protect all utility lines during the construction period. To field adjust the location of proposed trees and palms 10' off the center of the utility lines. Notify the Landscape Architect if a 10' offset does not function.
- The work shall be coordinated with other trades to prevent conflicts. Coordinate the planting with the irrigation work to assure availability and proper location of irrigation lines and plants.
- Contractor shall ensure that there are no visual obstructions to vehicle lines of sight and traffic controls. Contractor shall field adjust tree and/or large shrub locations to avoid any such obstructions.
- Trees shall be maintained by the owner to avoid future such obstructions by pruning trees and/or shrubs as necessary utilizing horticulturally sound techniques.
- All planting shall be performed by personnel familiar with planting procedure and under the supervision of a qualified planting foreman.
- All plant material shall be graded Florida No. 1 or better as outlined under Grades and Standards for Nursery Stock, Part I and II, published by the Florida Department of Agriculture and Consumer Services.
- The Landscape Architect or Owner shall have the right, at any stage of the operations, to reject any and all work and materials which, in his opinion, do not meet with the requirements of these specifications.
- Except as otherwise specified, the Landscape Contractor's work shall conform to accepted horticultural practices as used in the trade.
- The minimum acceptable size of all plants, measured after pruning, with branches in normal positions, shall conform to the measurements specified on the plant list or as indicated on the landscape drawing. Height and spread dimensions refer to main body of the plant and not extreme branch tip to tip. Trunk caliper (trunk diameter) is measured 6 inches from the ground on trees up to and including 4 inches in caliper, and 12 inches from the ground for larger trees. Since trunks are seldom round, the average of the largest diameter and that perpendicular to it is referred to as caliper.
- Plants shall be protected upon arrival at the site, by being thoroughly watered and properly maintained until planted.
- All tree pits shall be excavated to size and depth in accordance with the Florida Grades & Standards for Nursery Stock, unless shown otherwise on the drawings, and backfilled with the specified planting soil. The Landscape Contractor shall test fill all tree pits with water before planting to assure proper drainage percolation is available.
- The Landscape Contractor shall be responsible for proper watering of all plants. All plants shall be thoroughly watered at all time of planting and kept adequately watered until time of acceptance. It shall be the Landscape Contractor's responsibility to assure that plants are not over watered.
- It shall be the Landscape Contractor's responsibility to prevent plants from falling or being blown over, to re-straighten and replant all plants which lean or fall and to replace all plants which are damaged due to lack of proper guying or staking. The Landscape Contractor shall be legally liable for any damage caused by instability of any plant material.
- All Palms to be staked as indicated per Palm staking details. All other trees to be stabilized utilizing 8' lodge poles per tree planting details.
- Plants blown over by high winds, within the guaranteed period, shall not be cause for additional expense to the Owner, but shall be the responsibility of the Landscape Contractor. Damaged plants shall be replaced by the Landscape Contractor at no additional cost to the Owner.
- Sod shall be of a species specified on the drawings and originate from a commercial turf grower. It shall be a dense stand of live turf, reasonably free of weeds, well matted with grass roots in rectangles 12 inch by 24 inch or in 12 inch wide rolls in a length consistent with the equipment and methods used to handle the rolls and place the sod. Any netting contained within the sod shall be certified by the manufacturer to be bio-degradable. The soil and root mat shall be a minimum of 1-1/2 inch thick and must hold together during placement. Sod shall be placed adjacent to one another to avoid gaps and overlaps. Joints shall be staggered between the rows. Sod placed on slopes exceeding 3:1 shall be pinned with turf staples. Sod turf, shall have been mowed a minimum of one week prior to cutting and delivery, so that the length of the turf is no longer than 4 inches at time of delivery. Place sod within 48 hours of cutting the sod. The sod shall be kept moist throughout the 48 hour period to maintain the health and viability of the sod. Submit a letter of certification to the Owner's CEI Representative, at time of delivery, as to the source of the sod, the time it was cut, the species and cultivars provided, last mowing date, and that the sod is free of fire ants. Sod which has been cut for longer than 48 hours after being cut shall not be used unless specifically authorized by Owner's CEI Representative.
- It shall be the Contractor's responsibility to measure and determine the exact quantity of sod required for a complete job at the time of bidding or providing a price quote. The Owner shall not be responsible for additional cost due to the Contractor's under estimating of the quantity of sod for the original bid area.
- The Landscape Contractor shall insure adequate vertical drainage in all plant beds, planters, and sod areas. Vertical drilling through any compacted fill to native soil shall be accomplished to insure drainage. If well drained fill is necessary to assure positive drainage, this issue shall be brought up by the Landscape Contractor at time of bidding.
- The Landscape Contractor shall insure that his work does not interrupt established or projected drainage patterns.
- The Landscape Contractor shall prune, shape and remove dead foliage/limbs from existing plant material to remain. Confirm with the Landscape Architect or Owner the extent of work required at time of Bidding.
- Mulch - All plant beds shall be top dressed with 4" shredded hardwood mulch (or approved equal).
- Transplanted Material - The Landscape Contractor shall be responsible for determining and evaluating which plant materials are suitable for transplanting and shall verify this with the Landscape Architect or Owner. The Landscape Contractor shall take all reasonable, horticulturally acceptable measures to assure the successful transplanting of determined plant materials. The Landscape Contractor shall be responsible for replacing any relocated plant materials which die if such measures are not taken, as determined by the Landscape Architect or Owner. Replacement plants shall be of identical species and size if required.
- MAINTENANCE PRIOR TO FINAL INSPECTION AND ACCEPTANCE:**
Maintenance shall commence after each plant is planted and the maintenance period shall continue until the job or specific phase of the job is accepted by the Landscape Architect or Owner. Extreme care shall be taken to instruct the Owner or his representatives in general maintenance procedures.
Plant maintenance shall include watering, pruning, weeding, cultivating, mulching, tightening, and repairing of guys, replacement of sick or dead plants, resetting plants to proper grades or upright positions and restoration of the planting saucer and all other care needed for proper growth of the plants.
During the maintenance period and up to the date of final acceptance, the Landscape Contractor shall do all seasonal spraying and/or dusting of trees and shrubs. Upon completion of all planting, an inspection for acceptance of work will be held. The Landscape Contractor shall notify the Landscape Architect or Owner for scheduling of the inspection 10 days prior to the anticipated date.
At the time of the inspection, if all of the materials are acceptable, a written notice will be given by the Landscape Architect or Owner to the Landscape Contractor Stating the date when the Maintenance Period ends.
GUARANTEE AND REPLACEMENT:
All plant materials shall be guaranteed for one (1) year from the time of final inspection and interim acceptance shall be alive and in satisfactory growth for each specific kind of plant at the end of the guaranteed period.
At the end of the guarantee period, any plant required under this contract that is dead or not in satisfactory growth, as determined by the Owner or the Landscape Architect, shall be removed and replaced. Replacement plants shall have an extended guarantee, as noted above, from time of replacement.
All replacements shall be planted of the same kind and size as specified on the plant list. They shall be the responsibility of the Landscape Contractor.
- TOPSOIL**
Topsoil shall be natural, friable, fertile, fine loamy soil possessing characteristics of representative topsoil in the vicinity that produces heavy growth. Topsoil shall have a pH range of 6.5 to 7.4, free from soil objectionable weeds, litter, rocks, stiff clay, stones larger than 1-inch in diameter, stumps, roots, trash, toxic substances, or any other material which may be harmful to plant growth or hinder planting operations. Top soil shall contain a minimum of three percent organic material.
- UNSATURABLE SUBSOILS**
Locations containing unsuitable subsol shall be treated by one or more of the following:
A. Where unsuitability is deemed by Owner or Owner's Representative to be due to excessive compaction caused by heavy equipment and where natural subsol is other than AASHTO classification of A6 or A7, loosen such areas with spikes, discing, or other means to loosen soil to condition acceptable to Owner. Loosen soil to minimum depth of 12 inches with additional loosening as required to obtain adequate drainage. Contractor may introduce peat moss, sand, or organic matter into the subsol to obtain adequate measures shall be considered as incidental, without additional cost to Owner.
B. Where unsuitability is deemed by Owner or Owner's Representative to be due to presence of boards, mortar, concrete, graded aggregate base, or other construction materials in sub grade and where natural subsol is other than AASHTO classification of A6 or A7, remove debris and objectionable material. Such remedial measures shall be considered as incidental, without additional cost to Owner.
C. Where unsuitability is deemed by Owner to be because natural subsol falls into AASHTO classification of A6 or A7 and contains moisture in excess of 30 percent, then installation of sub drainage system or other means described elsewhere in Specifications shall be used. Where such conditions have not been known or revealed prior to planting time and they have not been recognized in preparation of The Drawings and Specifications, then Owner shall issue pricing order to install proper remedial measures.
D. Planting beds where existing subsol is determined by Owner to be unsuitable for plant growth in accordance paragraph Unsuitable Subsoil herein shall be excavated to a depth of 12 inches or as needed to provide adequate drainage. Replace excavated soil with planting soil.



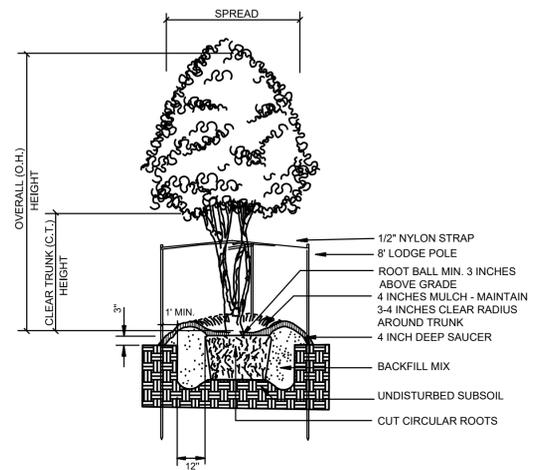
PALM STAKING DETAIL
N.T.S.



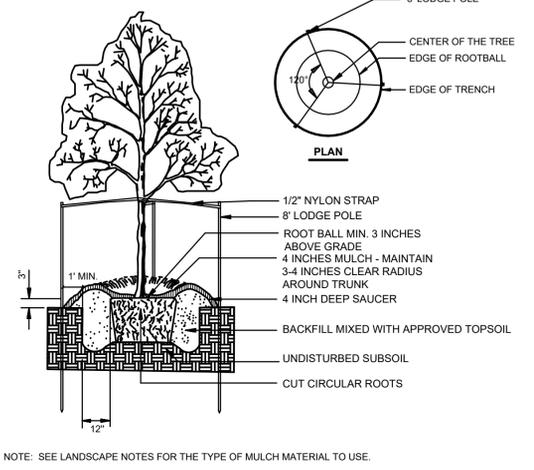
PALM MATRIX B
N.T.S.

PALM HEIGHT/TRUNK SPECIFICATIONS

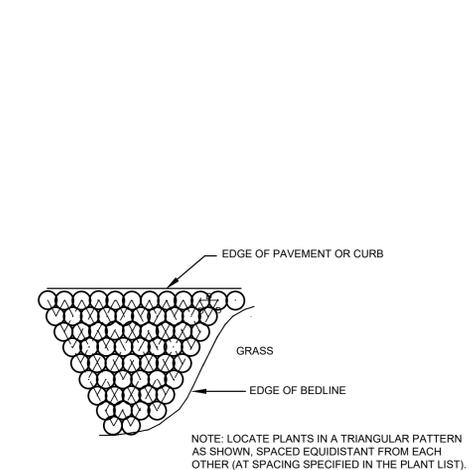
OVERALL HEIGHT(OA):
HIGHEST POINT IN THE CANOPY MEASURED FROM THE SOIL LINE TO THE NATURAL POSITION OF THE LAST FULLY EXPANDED LEAF. UNLESS SPECIFIED DIFFERENTLY, THE TERM HEIGHT, OR HEIGHT MEASUREMENTS SPECIFIED, WILL BE CONSIDERED OVERALL HEIGHT.
CLEAR TRUNK(CT):
A MEASUREMENT FROM THE SOIL LINE TO A POINT IN THE CANOPY WHERE THE TRUNK CALIPER BEGINS TO TAPER ABRUPTLY. ON MANY PALMS, THIS POINT WILL LIE AT THE BASE OF THE PETIOLE OF THE THIRD OR FOURTH YOUNGEST BUT FULLY EXPANDED LEAF.
CLEAR WOOD(CW):
A MEASUREMENT FROM THE SOIL LINE TO THE HIGHEST POINT OF THE TRUNK FREE OF PERSISTENT LEAF BASES. ON PALMS WITH A CROWN SHAFT, THE MEASURE WILL BE FROM THE SOIL LINE TO THE BASE OF THE CROWN SHAFT. IT SHOULD BE NOTED THAT PALMS WITH VERY PERSISTENT LEAF BASES MAY NOT HAVE CLEAR WOOD.
DPI INSPECTION NOTES(REQUIRED)
D.P.I. PALM INSPECTION NOTE:
ALL PALMS SHALL HAVE A VALID AND CURRENT STATE OF FLORIDA, DIVISION OF PLANT INDUSTRY (DPI) INSPECTION CERTIFICATION PRIOR TO BEING TRANSPORTED TO THE CONSTRUCTION SITE. THE DPI CERTIFICATION MUST BE SUBMITTED TO CPH AND A COPY OF THIS CERTIFICATION MUST BE PROVIDED TO THE GENERAL CONTRACTOR AND MAINTAINED WITH THE CONSTRUCTION RECORDS.



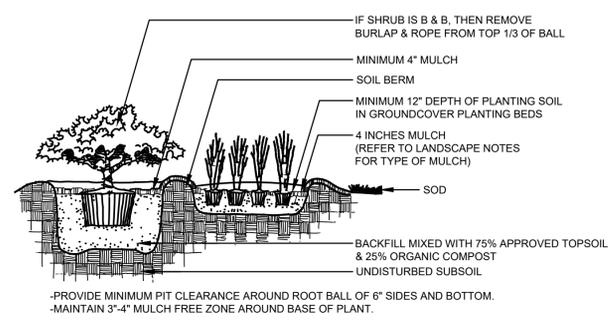
MULTI-TRUNK CONTAINER TREE PLANTING DETAIL
N.T.S.



CONTAINER TREE PLANTING DETAIL
N.T.S.



SHRUB/GROUNDCOVER SPACING PLAN
N.T.S.



SHRUB AND GROUNDCOVER PLANTING DETAIL
N.T.S.

WATERING:

EACH PLANT & TREE SHALL BE THOROUGHLY HAND WATERED IN AFTER PLANTING TO FILL EACH PLANTING WELL FULL. DAILY WATERING OF ALL NEWLY INSTALLED PLANT MATERIALS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR UNTIL FINAL ACCEPTANCE.
ALL TREES AND SHRUBS SHALL BE DEEP WATERED FOR A PERIOD OF 90 DAYS AFTER PLANTING. TREES AND SHRUBS SHALL BE DEEP WATERED FIVE TIMES PER WEEK DURING THE INITIAL 30 DAYS, THREE TIMES PER WEEK DURING THE FOLLOWING 30 DAYS, AND TWICE PER WEEK DURING THE LAST THIRTY DAYS. IF THE PLANTS EVIDENCE ANY STRESS DUE TO HEAT OR OTHER ACTS OF GOD, THE CONTRACTOR SHALL TAKE ANY AND ALL STEPS TO REMEDY THE SITUATION INCLUDING BUT NOT LIMITED TO REMEDIAL WATERING TWICE PER DAY UNTIL PLANT REVITALIZATION.

NOTE: REFER TO CIVIL PLANS AND DETAILS FOR THE TREE PROTECTION BARRICADES, SILT FENCE PLACEMENT, REQUIRED SIGNAGE, AND EXISTING TREE DRIP LINES.

PLANT LIST						
SYM	COMMON NAME	BOTANICAL NAME	DESCRIPTION	QTY.	NATIVE	
TREES						
CE	GREEN BUTTONWOOD	CONOCARPUS ERECTUS	2.5" CAL., 10' MIN. HT.	18	YES	
SP	CABBAGE PALM	SABAL PALMETTO	C.T. SHOWN ON PLAN.	6	YES	
SHRUBS						
CES	SILVER BUTTONWOOD	CONOCARPUS ERECTUS 'SERICEUS'	3 GAL., 24" MIN. HT., 16" SPRD., 36" O.C.	161	YES	
RI	INDIAN HAWTHORN	RHAPHEOLEPIS INDICA	3 GAL., 24" MIN. HT., 10" SPRD., 30" O.C.	48	NO	
GROUNDCOVER / GRASSES						
BF	SEA OXEYE DAISY	BORRICHIA FRUTESCENS	1 GAL., FULL, 24" O.C.	427	YES	
SB	SAND CORDGRASS	SPARTINA BAKERI	3 GAL., 15" HT., 10" SPRD., 36" O.C.	239	YES	
MC	MUHL'Y GRASS	MUHLENBERGIA CAPILLARIS	3 GAL., 15" HT., 10" SPRD., 36" O.C.	452	YES	
SOD	SEASHORE PASPALUM	PASPALUM VAGINATUM 'SEASHORE'	SOLID SOD, CONTRACTOR TO VERIFY QTY.			

NOTE:
- PLANT DESCRIPTIONS ARE FOR MINIMUM ACCEPTABLE SPECIFICATIONS. ALL CRITERIA LISTED FOR CONTAINER SIZE, CALIPER, HEIGHT, SPREAD, ETC. MUST BE MET FOR PLANT MATERIAL ACCEPTANCE. FOR EXAMPLE, IF A THREE GALLON SHRUB DONE NOT MEET THE HEIGHT OR SPREAD SPECIFICATION, IT WILL NOT BE ACCEPTED.
- IF SPECIFIED PLANTS ARE UNAVAILABLE AT TIME OF CONSTRUCTION, CONTRACTOR MAY REPLACE SPECIFIED PLANTS WITH PLANTS APPROVED BY LANDSCAPE ARCHITECT AND CITY STAFF.
- ALL OPEN SPACE AREAS WITHIN THE PROPERTY SHALL BE SODDED UNLESS PAVED, SEEDED AND MULCHED OR PLANTED WITH SHRUBS AND GROUND COVER.
- CONTRACTOR SHALL REPLACE ANY EXISTING SOD OR OTHER PLANT MATERIALS DAMAGED DURING CONSTRUCTION IN AREAS THAT ARE OUTSIDE PROPOSED LANDSCAPE AS SHOWN ON THE PLAN.
- CONTRACTOR SHALL PROVIDE TEMPORARY WATER AS NEEDED TO ESTABLISH PLANTINGS AND PROVIDE WARRANTY COVERAGE.
- THERE SHALL BE 3' MINIMUM CLEARANCE FROM LANDSCAPE PLANTS TO THE EDGE OF THE METERS LESS THAN 3" AND 10' FOR METERS 3" AND LARGER.
- THERE SHALL BE 7.5' MINIMUM CLEARANCE FROM THE FRONT AND BOTH SIDES AND 4' FROM THE BACK FOR ALL FIRE HYDRANTS.
- NO TREES SHALL BE PLANTED WITHIN 10' OF ANY COUNTY MAINTAINED WATER OR SEWER MAIN.
- TOTAL PLANTS : 1278
- TOTAL NATIVE PLANTS: 1230 (96%)

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www.cphcorp.com
A Full Service A & E Firm
3277A Fruitville Road, Suite 2
Sarasota, FL 34237
Ph: 941.365.4771
Plans Prepared By
CPH, Inc.
State of Florida Licenses:
Engineer No. 3219
Surveyor No. LB7143
Architect No. AA2600926
Landscape No. LC000298
Dimitri A. Karydas, RLA
Date: 09/25/18

No.	Date	Revised	Comments
1	10/26/18		OUT TO BID
2	08/23/18		PER RERS COMMENTS

Designed: K. Upp
Drawn: K. Upp
Checked: D. Moyer
Job No.: M13104.2
Date: 09/25/17 © 2018

LANDSCAPE NOTES AND DETAILS
PARKING LOT IMPROVEMENT PLANS FOR WARNER'S BAYOU
MANATEE COUNTY, FLORIDA

THIS SHEET NOT VALID FOR CONSTRUCTION WITHOUT COMPLETE SET OF PLANS. SEE GENERAL NOTES FOR MASTER LEGEND.
Sheet No. **L5.1**