



Building and Development Services
Development Review/Zoning
1112 Manatee Ave West, 4th FL Ste. 408
Bradenton, FL 34205
Phone: (941) 749-3070
www.mymanatee.org

April 2, 2015

ATTACHMENT E

Manatee County Property Management
Al Meronek
1211 Manatee Avenue, 7th Floor.
Bradenton, FL 34205

Case Number: FSP-12-33(R)
DTS Number: 20150027
MEPS: 393
Case Name: Ft. Hamer Park Phase IIA, IIB, III (fka Ft. Hamer Phase II)
Type of Approval: Final Site Plan/expansion of Ft. Hamer rowing facility to include phasing plan, site lighting and boat ramp improvements.
PIN: 542701008, 542701503, and a portion of parcels 505410309 & 505410259
Sec./Twp./Rge.: 17/34/19
Zoning: PDR/NCO
FLUC: UF-3/R-OS/AG-R/NC)
Acres: 10.2 ± acres
Floodzone: AE and X, Panel: 12081C 0195E
Location: 1605 Ft. Hamer Road

Dear Mr. Meronek,

This revised Final Site Plan for the Ft. Hamer Park expansion been reviewed by the appropriate reviewing agencies and is found to be in compliance with the Manatee County Land Development Code and Comprehensive Plan.

This approval shall expire January 24, 2016. This plan is approved by the Planning Director under the provisions of Section 508.8.1.3 of the Land Development Code.

Applicant is advised that all building permits for this project must be issued prior to the expiration of the Certificate of Level of Service (CLOS). Construction may continue after the CLOS expiration if the building permit(s) remain valid and do not expire. Otherwise, each site plan will be subject to a full concurrency review.

Approval is based on the following conditions and requirements stipulated by the respective departments:

A. Building & Development Services/Planning Conditions:

1. The Site Plan submitted with this application shall be part of the approval.

If there are any questions pertaining to the planning conditions, please contact Bernard Salmon, Planner, at (941) 748-4501, extension 6902.

B. Concurrency/Transportation Conditions:

Applications for Certificate of Level of Service Compliance for potable water, sanitary sewer, solid waste, transit, drainage, fire flow and traffic have been reviewed and will be approved upon project approval.

Prior to final site plan approval, concurrency must be met relative to fire flow and drainage design. Please contact Mark G. Mayer, Senior Development Review Specialist, Public Works Department at 708-7462 ext. 7217 in order to obtain approval regarding this issue.

If there are any questions pertaining to concurrency, please contact Susan Barfield at (941) 748-4501, extension 6876.

C. HRS/Manatee County Health Department Conditions:

The Health Department has reviewed the revised plans for the project referenced above. We have no additional comments and no further objection to this project moving forward to signoff.

The project will be served by County water and sewer.

If there are any questions pertaining to the Health Department, please contact Terri Stripling, Environmental Specialist II, at (941) 748-0747, extension 1415.

D. Fire District Conditions:

This department has reviewed the above referenced plans under the 2010 Edition of the Florida Fire Prevention Code and Parrish Fire Department Ordinance 11-A and the comments are stipulations for approval.

The following comments and requirements are contingent for permit approval and Certificate of Occupancy by the Parrish Fire Department.

1. All concerns of this department pertaining to this permit have been properly addressed and or corrected. We have no problem with the issuance of this permit.

Fire department review for code compliance shall not be construed as authority to violate, cancel alter or set aside any provisions of the adopted codes; nor shall such review prevent the Fire Marshal from thereafter requiring a correction of errors in plans, or in construction, or of violation of the codes.

The proposed project is located within the jurisdiction of the Parrish Fire Department and the contact person is Fire Chief Mike Johnson. Telephone: (941) 721-2093.

E. Impact Fee Division Conditions:

Please be advised that Impact Fees are reviewed at issuance of a building permit.

Contact Person: Sharla Fouquet, Impact Fee Coordinator
Telephone: (941) 748-4501, extension 3966.

F. Environmental Planning Division Conditions:

The Environmental Planning Division has no objection to the Final Site Plan going forward to sign-off with the stipulations below:

Stipulations:

1. Two separate inspections by EPD staff are required prior to authorization of construction and/or land clearing activities:
 - You are authorized to stake erosion and sediment control (ESC) device locations. After staking ESC measures, EPD staff must be contacted to inspect the staked locations.
 - After the installation of ESC devices has been completed, a second inspection is required to ensure adequacy.
2. All trees within the area proposed for construction activities that are to be preserved shall have chain link protective barricades constructed at their drip lines prior to commencement of construction. No improvements, fill, grade changes or compaction of soil due to heavy machinery will be permitted within the drip line of trees to be preserved, as shown on the approved plans.

When ready for inspections, please contact Dorothy Rainey, Environmental Planner with Environmental Planning Division at 748-4501, ext. 6851.

G. Stormwater Management Conditions (Public Works Dept.):

Please be advised that we have reviewed the Amended Final Site Plan dated February 5, 2015, and have no objections. Our no objection refers to stormwater engineering related information on the sheets and latest revision dates listed below:

Phases IIA & IIB:

<u>Sheet:</u>	<u>Date:</u>
Cover	01/14/15
2	01/14/15
3	01/02/15
4	01/14/15
4*	12/14/11
5	01/14/15
5*	12/14/11
7	01/14/15
11	01/14/15
12*	12/14/11

Phase III:

Cover	12/23/13
2	12/03/13
3	12/23/13
4	08/2013
5	12/03/13
6	08/2013

Please be advised this no objection is valid with respect to the referenced sheets and dates listed above. Staff has the option to require a re-submittal of the plans should there be any later revisions, additions, or deletions that impact any of the above listed sheets.

Should you have any questions, please feel free to call 708-7450, extension 7228.

If there are any questions pertaining to the approval, please contact Thomas Gerstenberger, Project Engineering Supervisor, at (941) 708-7450, extension 7228.

H. Floodplain Management Conditions:

Project site lies in Zones X and AE with a Base Flood Elevation of 9' per FIRM Panel 12081C0195E, effective 3/17/2014. Site also encroaches the regulatory floodway of Manatee River.

Construction in the regulatory floodway may require a No-Rise Certification.

If there are any questions pertaining to the Floodplain Management Division conditions, please contact Sandy Tudor, CFM, Floodplain Investigator, at (941) 746-3090, extension 3843.

I. Growth Management Engineering Review Comments:

The Public Works Growth Management Engineering Section has reviewed the above referenced "Preliminary Site Plan/Final Site Plans/Construction Drawings" submitted for "Ft. Hamer Park, Phase IIA, IIB & IIC" on February 5, 2015 for review and I have no objection to this submittal. I have received acceptance letters from Storm Water Engineering, Utility Engineering and Traffic Engineering. Please place all stipulations under Item III below in the Approval Letter.
Applicable Stipulations To Be Placed Within The Approval Letter:

1. Prior to any form of C.O. it must be demonstrated that any "Roadway Improvements" and/or "Storm Water Improvements", including roadway and stormwater installations have been installed and accepted by all entities. This includes final infrastructure inspection approval for the roadway improvement and storm water facilities. Contact Mr. Andy Fischer at 748-7450, Ext. #7346, Infrastructure Inspection Division of the Public Works Department to discuss all infrastructure inspection criteria.
2. For "Certification", a letter (signed and sealed) for CO release shall be submitted to Andy Fischer with the Public Works Inspection Department once the project is 100% complete and meets substantial compliance with the approved plans. This certification shall include all Site Plan requirements including but not limited to Right of Way and easement dedications, a copy of the confirmation letter for "As Built Drawing" submittal to the SWFWMD and all associated required improvements. A Final Zoning Inspection will be completed within 48 hours. (two working days) If inadequate, a Deficiency Notice will be forwarded to the Engineer of record and or the owner noting same. Certifications listing outstanding construction or substantial deviations are considered STATUS/PROGRESS reports.

If you have any questions regarding the above subject, please contact me:

Mark G. Mayer
Senior Development Review Specialist
941-708-7450, Ext. #7217
941-807-0846 Cell

941-708-7406 Fax

NOTE: Any changes to existing approved plans must be re-submitted through the review process for acceptance.

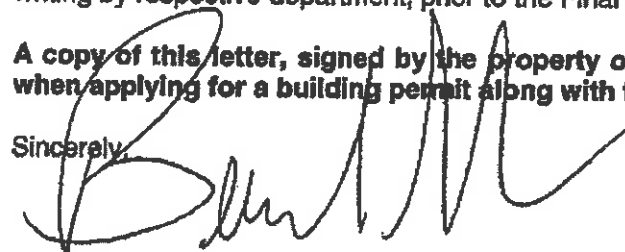
The application for a building permit constitutes an agreement on the part of the owner to abide by all of the foregoing conditions and stipulations. Furthermore, it will be necessary for the engineer and, or architect of record to certify that all site improvements, as approved, have been completed prior to the final acceptance. All improvements and structures must be installed per the approved plan. Any deviations to the approved plan must be submitted as a Revised Plan in accordance with Section 508.5.3. (3) of the LDC.

The issuance of a C.O. is dependent on reaching the minimum improvements indicated on the Final Site Plan. Stipulations that condition to the C.O. must be approved in writing by the respective department, prior to the C.O. being issued. A Temporary C.O. may be issued by the Building Official once all safety considerations and minimum improvements have been met. There shall be NO extensions of any T.C.O. issued, except by application and express approval of the appropriate departments, prior to issuance by the Building Official.

The issuance of a Final Acceptance is dependent on reaching the minimum improvements indicated on the plan. Stipulations that condition the Final Acceptance must be approved in writing by respective department, prior to the Final Acceptance being issued.

A copy of this letter, signed by the property owner/developer/agent, must be presented when applying for a building permit along with the approved plan.

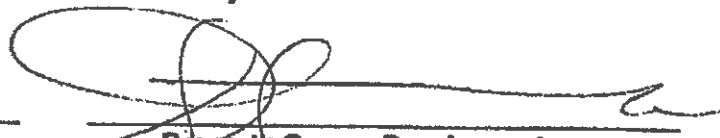
Sincerely,



Bernard Salmon, Planner
Building and Development Services

I have read and understand this letter and agree to the conditions and regulations herein. I will provide a copy of this letter and approved Site Plan to the General Contractor prior to commencement of construction for this Project.

April 14, 2015
Date



Property Owner, Developer, Agent
(Responsible for overseeing site development)