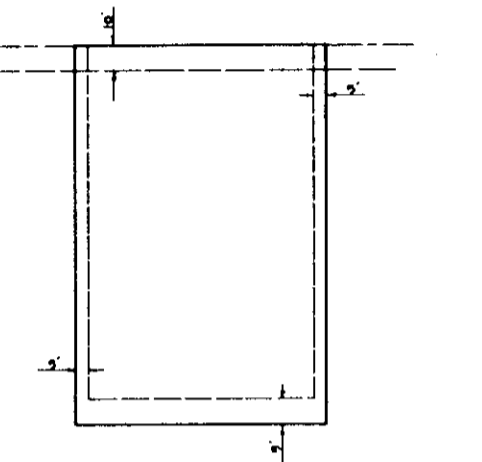


15' MANATEE COUNTY
DRAINAGE EASEMENT

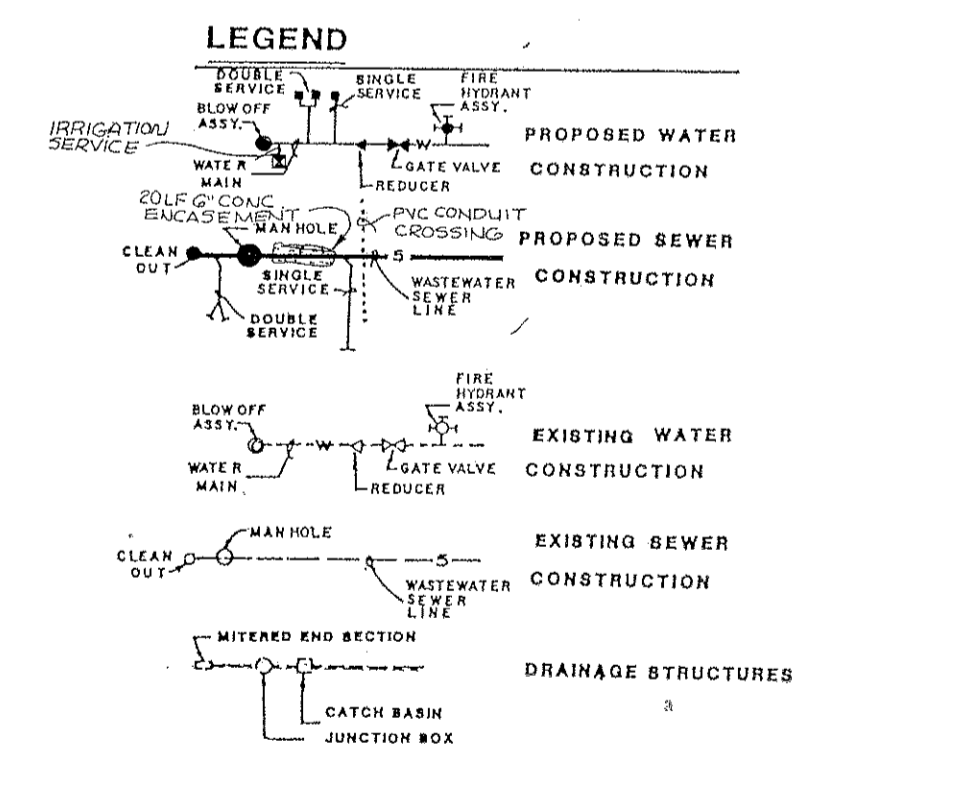
- WATER & SEWER CONSTRUCTION NOTES**
- All proposed improvements to the site to be staked in the field by or under the supervision of a Florida Registered Land Surveyor.
 - The Contractor is responsible for coordinating and contracting for the production of reproducible record drawings with the Engineer of Record. Prior to scheduling of any underground utility pressure tests, Contractor shall have obtained all necessary field data required for the production of Record Drawings. Said Record Drawings are to meet the requirements of Manatee County Public Works Department minimum technical standards (Rev. #9). The Record Drawings are to be performed and certified by the Engineer of Record for the Contractor.
 - All proposed construction is to meet or exceed latest applicable Manatee County Construction standards and is to be dedicated for exclusive private use of the development. Homeowners Association.
 - The Contractor is to coordinate the location and elevation of all fire, fire and irrigation service streets with respective agency prior to construction.
 - The Contractor is to assure himself that all underground utilities and storm sewers are constructed, tested and operational prior to any roadway construction.
 - All proposed electrical and communication services are to be located underground as directed by respective agency.
 - Watermain - PIGMENTED, COLORED BLUE. Water services where located under pavement to be encased in Class 160, SDR-26 (3" min.).
 - All utilities and/or drainage shown as existing are to be field verified for location and elevation prior to construction. Contractor to notify "CANDY" 48 hours minimum prior to start of construction for possible utility locations not shown.



PRIVATE RESERVATION OF EASEMENTS
THERE ARE HEREBY EXPRESSLY RESERVED, EASEMENTS OF 10 FEET ALONG THE REAR LINES OF ALL LOTS FOR UNDERGROUND UTILITIES, SURFACE AND UNDERGROUND DRAINAGE, AND EASEMENTS OF 5 FEET ON FRONT AND ON EACH SIDE LOT LINE FOR THE SAME PURPOSES, BUT LIMITED TO ONE SIDE OF ANY ONE LOT. THE ABOVE MENTIONED 10 FOOT REAR LOT LINE EASEMENT MAY BE REDUCED TO 5 FEET IF THE CONTIGUOUS ADJOINING LOT HAS A MINIMUM OF 5 FEET EXISTING UTILITY EASEMENT, WHERE NONE THAN ONE LOT IS INTERESTED AS A BUILDING SITE, THE OUTSIDE BOUNDARIES OF EACH BUILDING SITE SHALL CARRY SAID EASEMENTS. ALL OTHER EASEMENTS SHOWN ON THIS PLAN ARE HEREBY RESERVED IN PERPETUITY FOR THE PURPOSES NOTED.

NOTE:
CONDUIT LOCATIONS AND SIZES AS SHOWN ARE FOR ALLOCATION PURPOSES. ACTUAL SIZES AND LOCATIONS TO BE DETERMINED BY INTERESTED PARTIES DURING THE PRE-CONSTRUCTION CONFERENCE.

- RECORD DRAWING NOTES:**
- SOME IMPROVEMENTS INSTALLED BELOW GROUND HAVE NOT BEEN EXPOSED FOR DIRECT VISUAL CONFIRMATION. THIS RECORD DRAWING SHOWS THE LOCATIONS OF STAKING POINTS THAT HAVE BEEN SET BY, AND LOCATIONS DERIVED FROM INFORMATION SUPPLIED BY THE CONTRACTOR OF RECORD IN ADDITION TO THOSE FEATURES DIRECTLY VIEWED BY T.N.S. FIELD CREWS. ZOLLER, NAJJAR & SHROYER CANNOT GUARANTEE OR ASSUME RESPONSIBILITY FOR THE ACCURACY OF INFORMATION SUPPLIED BY, OR STAKING POINTS SET BY OTHERS.
 - EXCEPT WHERE SHOWN, ALL WATER MAIN AND FORCE MAIN BENDS HAVE BEEN ATTAINED BY THE USE OF ELBOWS SMALLER THAN 45 OR BY PIPE DEFLECTION.
 - A BLANKET ACCESS EASEMENT FOR THE SPECIFIC PURPOSE OF READING WATER METERS WILL BE GRANTED TO MANATEE COUNTY.
 - THE OFF-SITE BASELINE USED IS THE MONUMENTED LAND LINE (SOUTH LINE OF THE NORTH 1/2 OF SECTION 24-34-15) DUE TO THE PAVERMENT OF 17TH AVE. N.W. BEING SKEWED IN THE RIGHT OF WAY. PAVERMENT OFFSETS FROM THE BASELINE (ALSO BEING THE CENTERLINE OF THE MAINTAINED RIGHT OF WAY) ARE SHOWN IN VARIOUS LOCATIONS.



**RECORD DRAWING
OF
SEWER & WATER PLAN
FOR
THE LOOP**
LOCATED IN:
SEC. 24, TWP. 34 S., RGE. 16 E.
MANATEE COUNTY, FLORIDA

SEE DETAIL
"A"
FOR LIFT STATION
STATIONING

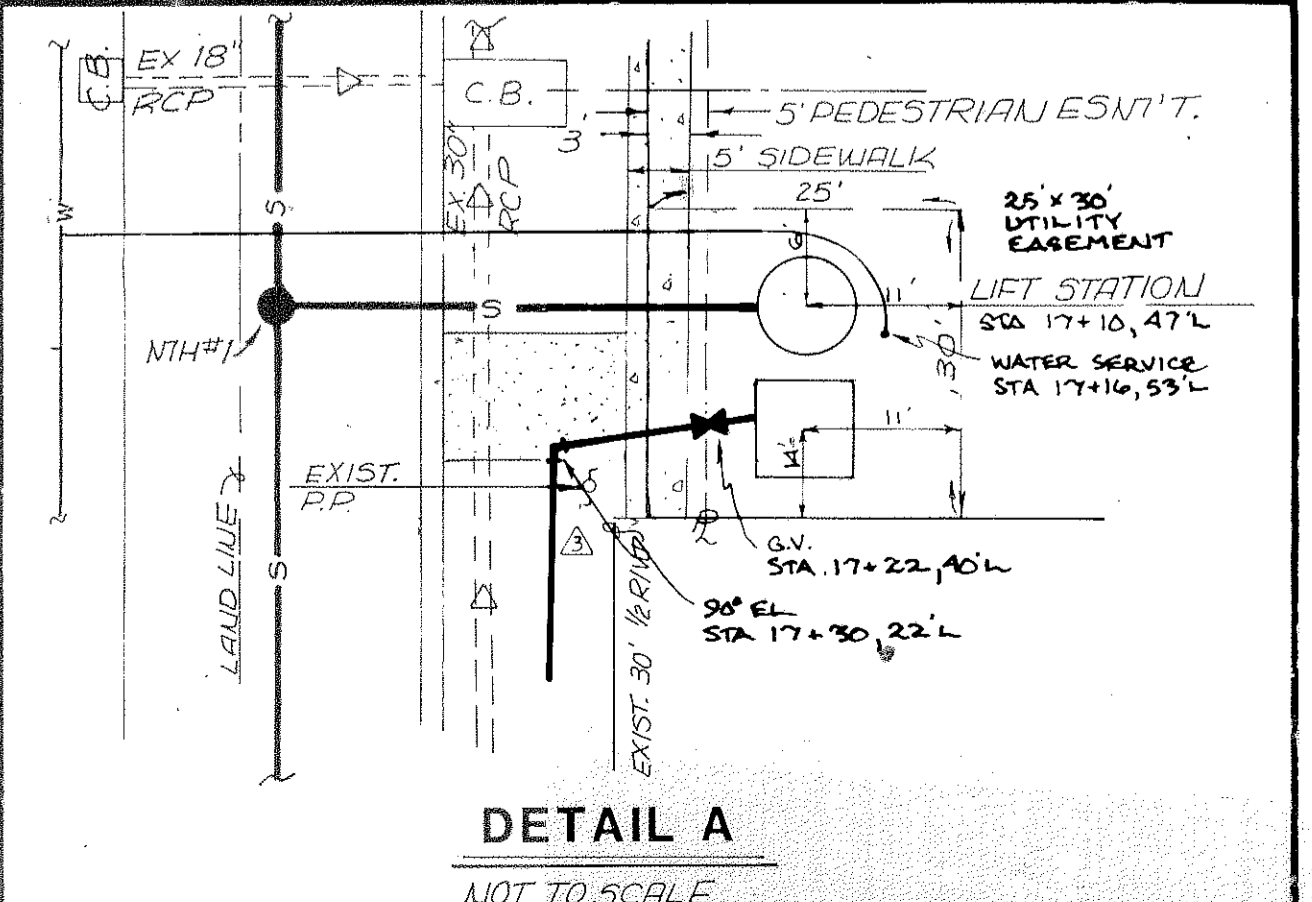
LIFT STA. WATER
SERVICE LINE
LIFT STATION
RINT = 9.59
S.I. INV. = -7.80

3/4" LF 10" PVC
@ 0.41 %

1" LF 10" PVC @
REFER TO 17TH AVE NW
PLAN & PROFILE (SHT. 4 OF 8)
FOR CONTINUATION

REFER TO FORCETAIN PLAN
(SHEET 5 OF 8) FOR
FORCETAIN CONTINUATION

NOTE #1
RINT = 7.84
S.I. INV. = -7.56
W.I. INV. = -7.63
E. INV. = -7.05
STA 17+09.6 L



NOTE: TRACT "A", RESERVED FOR THE PURPOSES OF INGRESS-EGRESS, UTILITIES AND PRIVATE DRAINAGE, IS TO BE OWNED AND MAINTAINED BY THE LOOP HOMEOWNER'S ASSOCIATION, INC.. THE DEED UPON THIS RECORD DRAWING OF THE AREA WITHIN TRACT "A" IS IN NO WAY TO BE CONSTRUED AS A DEDICATION OF THE PRIVATE STREET AND UTILITIES WITHIN TRACT "A" TO THE GENERAL PUBLIC OR MANATEE COUNTY FOR THE PURPOSES OF OWNERSHIP, IMPROVEMENT OR MAINTENANCE.

I HEREBY CERTIFY THAT THE RECORD DRAWINGS OF THE UTILITIES SHOWN, SUPERIMPOSED UPON THE DESIGN CONSTRUCTION PLANS, IS TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, A TRUE AND CORRECT REPRESENTATION OF THE IMPROVEMENTS AS SHOWN.

ZOLLER, NAJJAR & SHROYER, INC.
BRADENTON, FLORIDA 34206

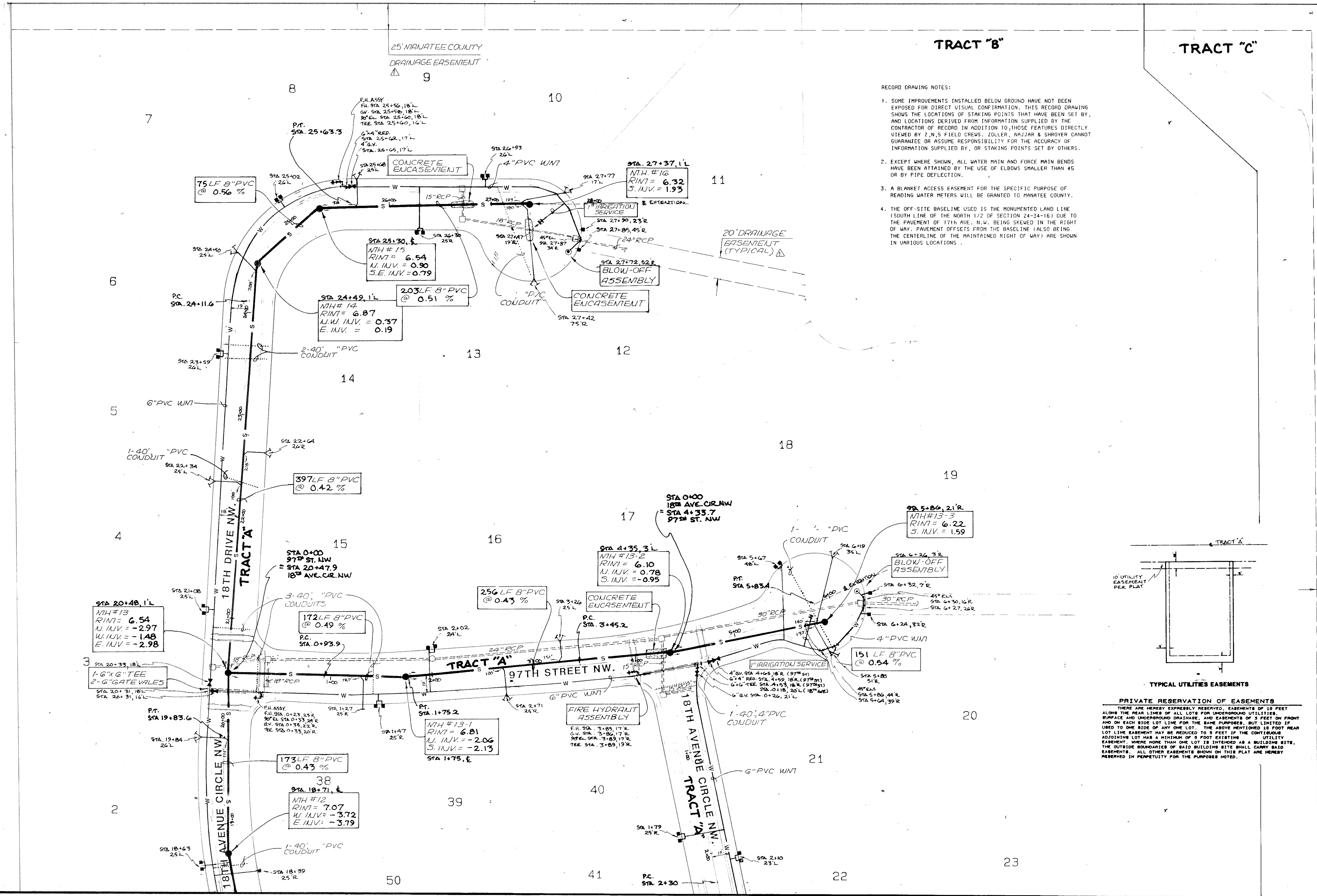
DATE OF FIELD WORK : 12.90 - 4.91 DATE OF CERTIFICATION:

REVISIONS	
1. DRAWING EASEMENTS	7/19/90
2. ADDITIONAL UTILITIES	7/19/90
3. DETAIL A REVISED	7/19/90
4. NOTE #1	10/17/90
5. PEG RANGES MOD.	10/25/90
6. REVISION	10/31/90
7. DRIVE WAY DOUBLE	11/14/90
8. RECORD DRAWING	12/5/91
9. FINAL SUBM. REVIEW	5-14-91
PER: MCPWD	

Zoller, Najjar & Shroyer, Inc.
Engineers, Planners, Surveyors & Landscape Architects

2015th AVENUE DRIVE EAST
POST OFFICE BOX 9488
BRADENTON FLORIDA 34206
TELEPHONE (813) 748-8800
FAX (813) 748-8318

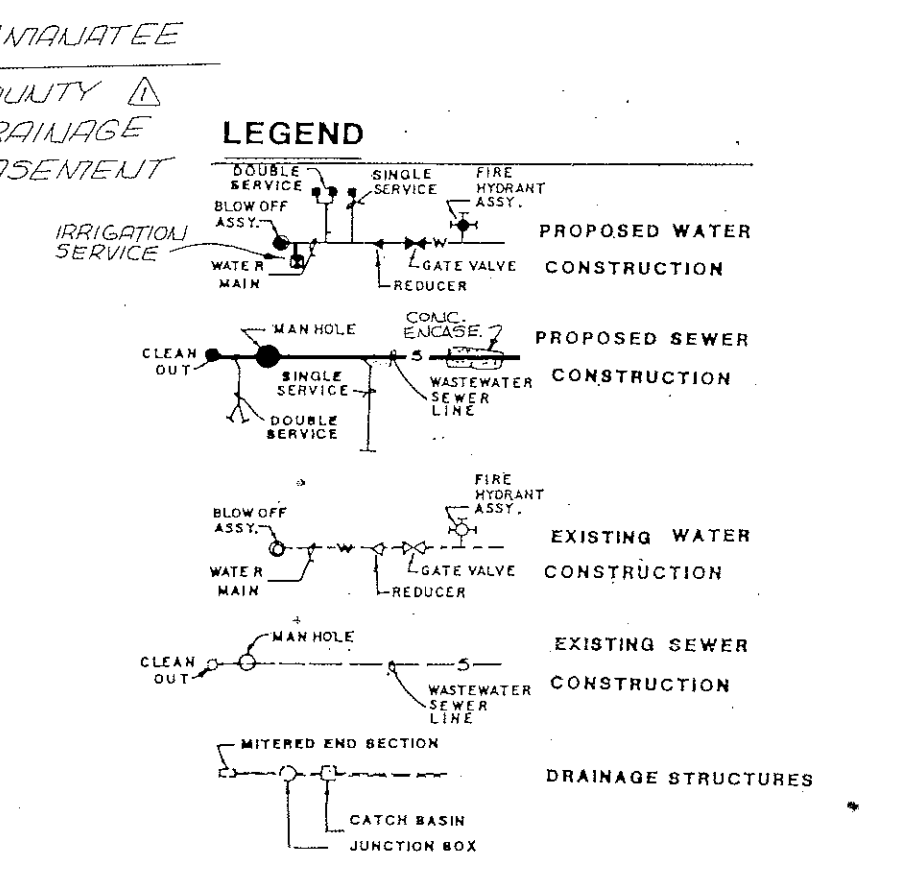
DESIGNED BY MSD CHECKED MSD DATE MAY 1990 SCALE 1" = 50'
DRAWN BY COMP. JOB NO. 758-1167 FILE NO. 10640 SHEET 1 OF 8



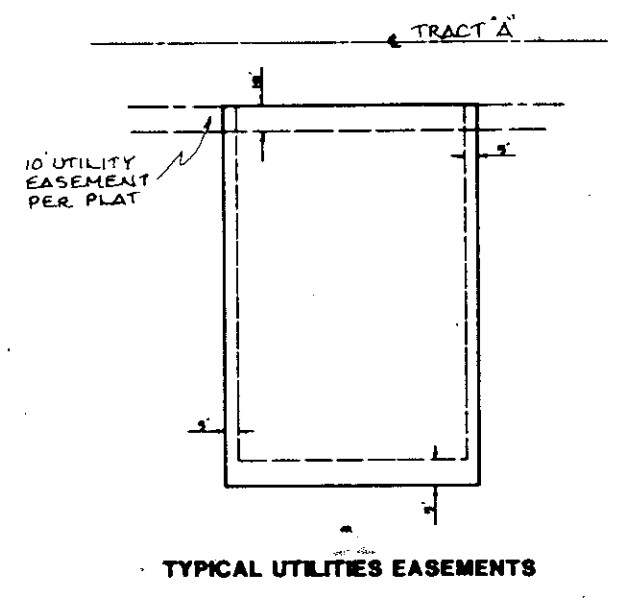
- RECORD DRAWING NOTES:**
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 - EXCEPT WHERE SHOWN, ALL WATER MAIN AND FORCE MAIN BENDS HAVE BEEN ATTAINED BY THE USE OF ELBOWS SMALLER THAN 45 OR BY PIPE DEFLECTION.
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 - THE OFF-SITE BASELINE USED IS THE MONUMENTED LAND LINE (SOUTH LINE OF THE NORTH 1/2 OF SECTION 24-34-16) DUE TO THE PAVERMENT OF 17TH AVE. N.W. BEING SKEWED IN THE RIGHT OF WAY. PAVERMENT OFFSETS FROM THE BASELINE (ALSO BEING THE CENTERLINE OF THE MAINTAINED RIGHT OF WAY) ARE SHOWN IN VARIOUS LOCATIONS.

- WATER & SEWER CONSTRUCTION NOTES**
- All proposed improvements to the site to be staked in the field by or under the supervision of a Florida Registered Land Surveyor.
 - The Contractor is responsible for coordinating and contracting for the production of reproducible record drawings with the Engineer of Record. Prior to scheduling of any underground utility pressure tests, Contractor shall have obtained all necessary field data required for the production of Record Drawings. Said Record Drawings are to meet the requirements of Manatee County Public Works Department minimum technical standards (Rev. 83). The Record Drawings are to be performed and certified by the Engineer of Record for the Contractor.
 - All proposed construction is to meet or exceed latest applicable Manatee County construction standards and is to be dedicated for exclusive private use of the development Homeowners Association.
 - The Contractor is to coordinate the location and elevation of all P.V.C. and irrigation service sleeves with respective agency prior to construction.
 - The Contractor is to assure himself that all underground utilities and storm sewer is constructed, tested and operational prior to any roadway construction.
 - All proposed electrical and communication services are to be located underground as directed by respective agency.
 - Watermain - SDR-15 PVC. SANITIZED COLOR BLUE. Water services where located under pavement to be encased in Class 100, SDR-26 (3" min.).
 - All utilities and/or drainage shown as existing are to be field verified for location and elevation prior to construction. Contractor to notify "CANDY" 48 hours minimum prior to start of construction for possible utility locations not shown.

NOTE:
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MATCH LINE
SEE SHEET 1 OF 8

NOTE: TRACT "A", RESERVED FOR THE PURPOSES OF INGRESS-EGRESS, UTILITIES AND PRIVATE DRAINAGE, IS TO BE OWNED AND MAINTAINED BY "THE LOOP HOMEOWNER'S ASSOCIATION, INC.". THE DEPICTION UPON THIS RECORD DRAWING OF THE AREA WITHIN TRACT "A" IS IN NO WAY TO BE CONSTRUED AS A DEDICATION OF THE PRIVATE STREET AND UTILITIES WITHIN TRACT "A" TO THE GENERAL PUBLIC OR MANATEE COUNTY FOR THE PURPOSES OF OWNERSHIP, IMPROVEMENT OR MAINTENANCE.

I HEREBY CERTIFY THAT THE RECORD DRAWINGS OF THE UTILITIES SHOWN, SUPERIMPOSED UPON THE DESIGN CONSTRUCTION PLANS, IS TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, A TRUE AND CORRECT REPRESENTATION OF THE IMPROVEMENTS AS SHOWN.

ZOLLER, NAJJAR & SHROYER, INC.
P.O. BOX 9448
BRADENTON, FLORIDA 34206

JAMES N. GATCHEL, JR.
P.L.S. #4205

DATE OF FIELD WORK : 12-90-4-91 DATE OF CERTIFICATION:

REVISIONS	
1	ORIGINATOR: T.M.S. 12-90
2	PER MTC REVIEW: 12-90
3	REVISED: 10-1-90
4	PER MTC REVIEW: 10/23/90
5	RECORD DRAWING: 5-8-91
6	FINAL CHECK: 5-14-91
7	

Zoller, Najjar & Shroyer, Inc.
Engineers, Planners, Surveyors & Landscape Architects

201 5th AVENUE DRIVE EAST
POST OFFICE BOX 3448
BRADENTON FLORIDA 34206
TELEPHONE (813) 748-8080
FAX (813) 748-3316

DESIGNED BY: [Signature] CHECKED: [Signature] DATE: MAY 1990 SCALE: 1"=50'
DRAWN BY: [Signature] COMP: [Signature] JOB NO: 758-11617 FILE NO: 10640 SHEET 2 OF 8

RECORD DRAWING NOTES:

- SOME IMPROVEMENTS INSTALLED BELOW GROUND HAVE NOT BEEN EXPOSED FOR DIRECT VISUAL CONFIRMATION. THIS RECORD DRAWING SHOWS THE LOCATIONS OF STAKING POINTS THAT HAVE BEEN SET BY, AND LOCATIONS DERIVED FROM INFORMATION SUPPLIED BY THE CONTRACTOR OF RECORD IN ADDITION TO THOSE FEATURES DIRECTLY VIEWED BY Z.N.S. FIELD CREWS. ZOLLER, NAJJAR & SHROYER CANNOT GUARANTEE OR ASSUME RESPONSIBILITY FOR THE ACCURACY OF INFORMATION SUPPLIED BY, OR STAKING POINTS SET BY OTHERS.
- EXCEPT WHERE SHOWN, ALL WATER MAIN AND FORCE MAIN BENDS HAVE BEEN ATTAINED BY THE USE OF ELBOWS SMALLER THAN 45 OR BY PIPE DEFLECTION.
- THE FORCE MAIN CONSISTS OF 3,653 LINEAR FEET OF 4" PVC.
- THE OFF-SITE BASELINE USED IS THE MONUMENTED LAND LINE (SOUTH LINE OF THE NORTH 1/2 OF SECTION 24-34-18) DUE TO THE PAVEMENT OF 17th AVE. N.W. BEING SKEWED IN THE RIGHT OF WAY. PAVEMENT OFFSETS FROM THE BASELINE (ALSO BEING THE CENTERLINE OF THE MAINTAINED RIGHT OF WAY) ARE SHOWN IN VARIOUS LOCATIONS.

I HEREBY CERTIFY THAT THE RECORD DRAWINGS OF THE UTILITIES SHOWN, SUPERIMPOSED UPON THE DESIGN CONSTRUCTION PLANS, IS TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, A TRUE AND CORRECT REPRESENTATION OF THE IMPROVEMENTS AS SHOWN.

ZOLLER, NAJJAR & SHROYER, INC.
P.O. BOX 9448
BRADENTON, FLORIDA 34206

DATE OF FIELD WORK: 12-90-4-91 DATE OF CERTIFICATION:

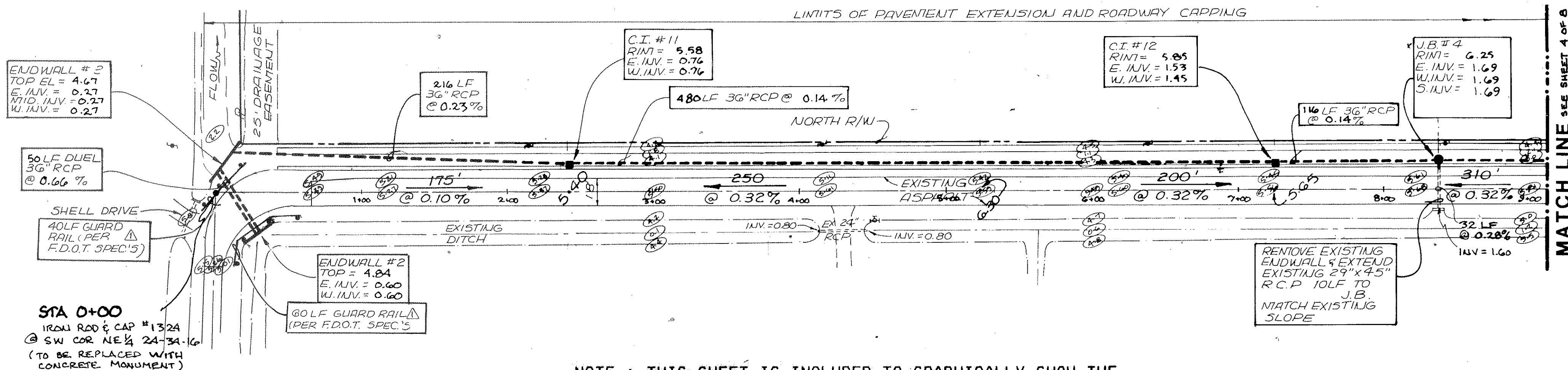
REVISIONS	
1	GUARD RAIL ADDED PER M.C. REVIEW 7/19/90
2	RECORD DRAWING 5.8.91
3	FINAL SUBM. W/REV 5.14.91
4	
5	
6	
7	

Zoller, Najjar & Shroyer, Inc.
Engineers, Planners, Surveyors & Landscape Architects

201 5th AVENUE DRIVE EAST
POST OFFICE BOX 9448
BRADENTON, FLORIDA 34206
TELEPHONE: 813-748-8000
FAX: 813-748-3316

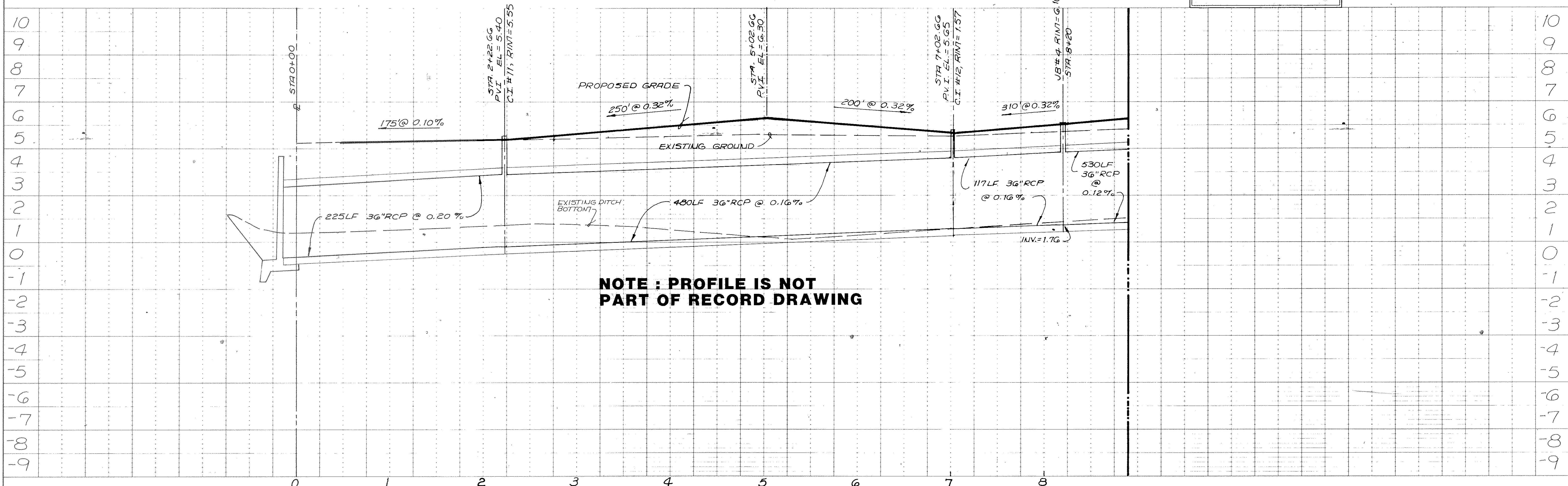
DESIGNED WT CHECKED MSD DATE MAY 1990 SCALE AS SHOWN
DRAWN J COMP — JOB NO. 758-11617 FILE NO. 10640 SHEET 3 OF 5

RECORD DRAWING
OF
17TH AVENUE NW.
PLAN
FOR
THE LOOP
LOCATED IN:
SEC. 24, TWP. 34 S., RGE. 16 E.
MANATEE COUNTY, FLORIDA



NOTE: THIS SHEET IS INCLUDED TO GRAPHICALLY SHOW THE STATIONING BASIS FOR SANITARY, WATER AND FORCE MAIN IMPROVEMENTS ON 17th AVE. N.W.

Scale:
Vert. 1" = 2'
Horiz. 1" = 50'



NOTE: PROFILE IS NOT PART OF RECORD DRAWING

PLAN
DATE: _____
BY: _____
CHECKED: _____
DATE: _____

PROFILE
DATE: _____
BY: _____
CHECKED: _____
DATE: _____

I HEREBY CERTIFY THAT THE RECORD DRAWINGS OF THE UTILITIES SHOWN, SUPERIMPOSED UPON THE DESIGN CONSTRUCTION PLANS, IS TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, A TRUE AND CORRECT REPRESENTATION OF THE IMPROVEMENTS AS SHOWN.

ZOLLER, NAJJAR & SHROYER, INC.
 P.O. BOX 9449
 BRADENTON, FLORIDA 34206

JAMES M. GATSON, JR. P.L. #4295
 DATE OF FIELD WORK: 12-90-1-91 DATE OF CERTIFICATION:

REVISIONS	
1	MH 3 TO MH 1
2	6" PVC
3	MH 1 TO 2E
4	RECORD DRAWING
5	FINAL SUBM. W/REV.
6	PER MCVWD
7	

Zoller, Najjar & Shroyer, Inc.
 Engineers, Planners, Surveyors & Landscape Architects

BRADENTON FLORIDA 34206
 TEL: (813) 748-4000

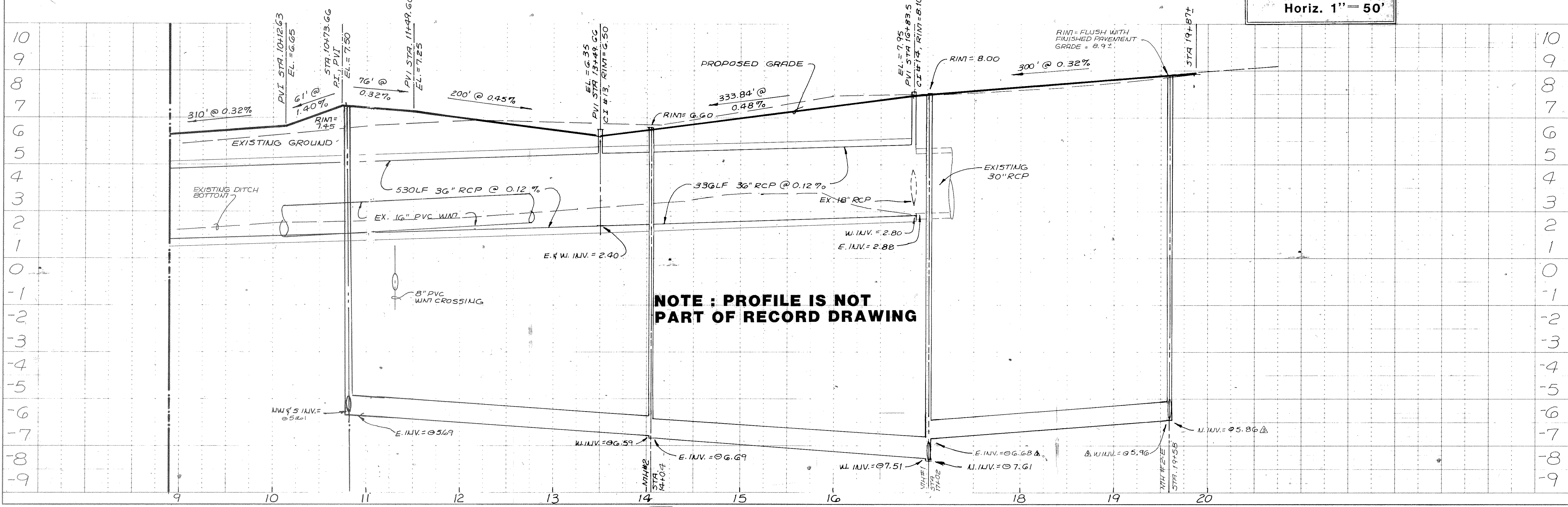
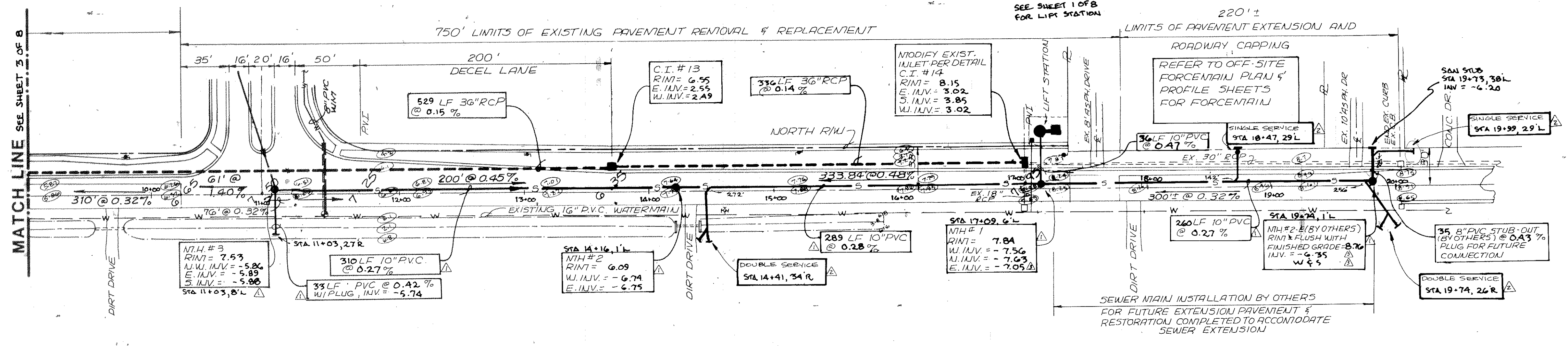
201 5th AVENUE DRIVE EAST
 POST OFFICE BOX 9449

DESIGNED WJ CHECKED MSD DATE MAY 1990 SCALE AS SHOWN
 DRAWN J COMP. --- JOB NO. 758-11617 FILE NO. 10640 SHEET 4 OF 6

RECORD DRAWING
 OF
17TH AVENUE NW.
 PLAN
 FOR
THE LOOP
 LOCATED IN:
 SEC. 24, TWP. 34 S., RGE. 16 E.
 MANATEE COUNTY, FLORIDA

- RECORD DRAWING NOTES:
- SOME IMPROVEMENTS INSTALLED BELOW GROUND HAVE NOT BEEN EXPOSED FOR DIRECT VISUAL CONFIRMATION. THIS RECORD DRAWING SHOWS THE LOCATIONS OF STAKING POINTS THAT HAVE BEEN SET BY, AND LOCATIONS DERIVED FROM INFORMATION SUPPLIED BY THE CONTRACTOR OF RECORD IN ADDITION TO THOSE FEATURES DIRECTLY VIEWED BY 2 N.S. FIELD CREWS. ZOLLER, NAJJAR & SHROYER CANNOT GUARANTEE OR ASSUME RESPONSIBILITY FOR THE ACCURACY OF INFORMATION SUPPLIED BY, OR STAKING POINTS SET BY OTHERS.
 - EXCEPT WHERE SHOWN, ALL WATER MAIN AND FORCE MAIN BENDS HAVE BEEN ATTAINED BY THE USE OF ELBOWS SMALLER THAN 45 OR BY PIPE DEFLECTION.
 - THE FORCE MAIN CONSISTS OF 3,653 LINEAR FEET OF 6" PVC.
 - THE OFF-SITE BASELINE USED IS THE MONUMENTED LAND LINE (SOUTH LINE OF THE NORTH 1/2 OF SECTION 24-34-16) DUE TO THE PAVEMENT OF 17TH AVE. N.W. BEING SKEWED IN THE RIGHT OF WAY. PAVEMENT OFFSETS FROM THE BASELINE (ALSO BEING THE CENTERLINE OF THE MAINTAINED RIGHT OF WAY) ARE SHOWN IN VARIOUS LOCATIONS.

Scale:
 Vert. 1" = 2'
 Horiz. 1" = 50'



NOTE: PROFILE IS NOT PART OF RECORD DRAWING

NOTES:

- EXISTING FORCEMAIN TO BE FIELD LOCATED BY MANATEE COUNTY UTILITIES PRIOR TO PROPOSED FORCEMAIN CONSTRUCTION.
- ALL IMPROVEMENTS WITHIN RIGHT-OF-WAY TO BE CONSTRUCTED TO LATEST APPLICABLE MANATEE COUNTY REGULATIONS AND SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE FOR THE RELOCATION OR RECONSTRUCTION OF ANY UNDERGROUND UTILITIES, DRAINAGE FACILITIES, SIGNS, MAILBOXES, AND ANY OTHER ITEM LOCATED WITHIN THE RIGHT-OF-WAY DISTURBED DURING CONSTRUCTION. IF DISTURBED, THE GRASS AREA 2' BEHIND CURB TO BE SODDED. ALL ASPHALT AND CONCRETE SURFACES TO BE REMOVED TO HAVE SAWCUT EDGES.

I HEREBY CERTIFY THAT THE RECORD DRAWINGS OF THE UTILITIES SHOWN, SUPERIMPOSED UPON THE DESIGN CONSTRUCTION PLANS, IS TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, A TRUE AND CORRECT REPRESENTATION OF THE IMPROVEMENTS AS SHOWN.

ZOLLER, NAJJAR & SHROYER, INC.
 P.O. BOX 9448
 BRADENTON, FLORIDA 34206
 DATE OF FIELD WORK : 12-80 - 4-91 DATE OF CERTIFICATION:

REVISIONS	
1	FM OFFSET ADDED
2	PER MAN. CO. REVIEW 7/1/90
3	FINAL SUBM. W/REV 5-18-91
4	PER MCPWD 5-14-91
5	
6	
7	

Zoller, Najjar & Shroyer, Inc.
 Engineers, Planners, Surveyors & Landscape Architects

201 5th AVENUE DRIVE EAST
 POST OFFICE BOX 9448
 BRADENTON FLORIDA 34206
 TELEPHONE (813) 748-8888
 FAX (813) 748-3316

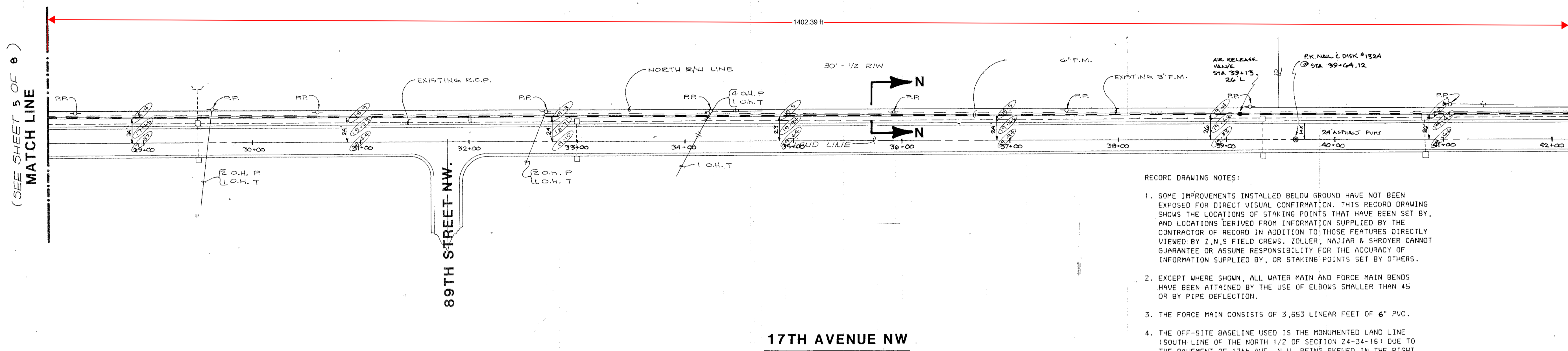
DESIGNED WJ CHECKED NTSD DATE MAY 1990 SCALE SHOWN
 DRAWN JH COMP. --- JOB NO. 758-11617 FILE NO. 10640 SHEET 6 OF 8

RECORD DRAWING
 OF

OFF-SITE FORCEMAIN PLAN
 FOR
THE LOOP

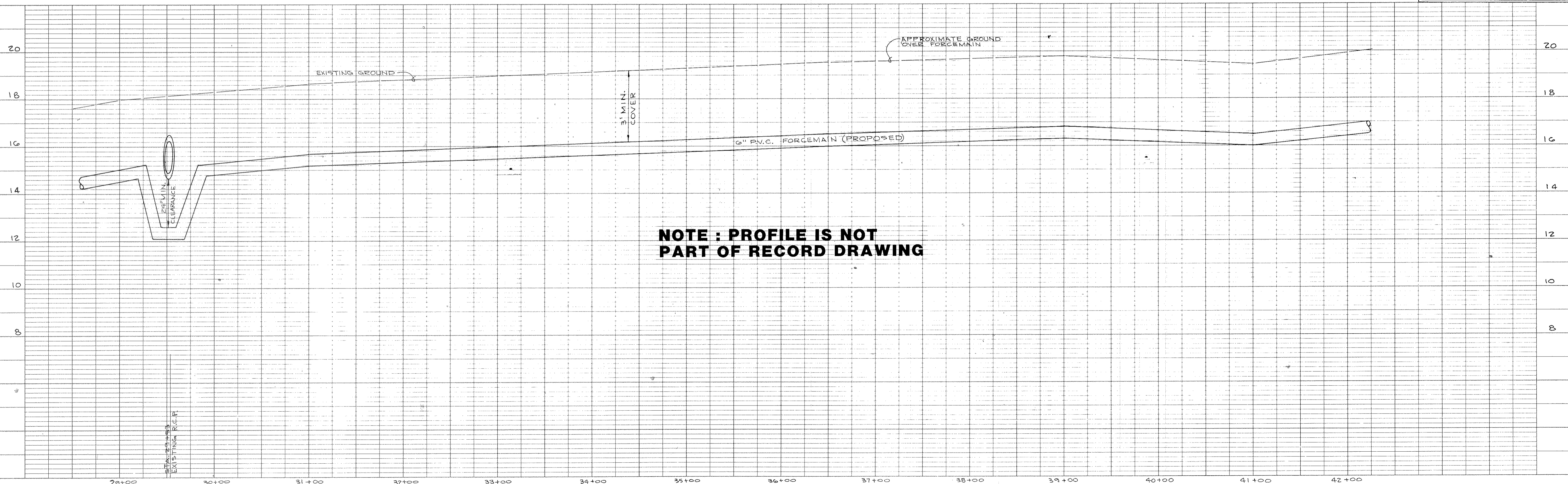
LOCATED IN:
 SEC. 24, TWP. 34 S., RGE. 16 E.,
 MANATEE COUNTY, FLORIDA

MATCH LINE
 SEE SHEET 7 OF 8



- RECORD DRAWING NOTES:
- SOME IMPROVEMENTS INSTALLED BELOW GROUND HAVE NOT BEEN EXPOSED FOR DIRECT VISUAL CONFIRMATION. THIS RECORD DRAWING SHOWS THE LOCATIONS OF STAKING POINTS THAT HAVE BEEN SET BY, AND LOCATIONS DERIVED FROM INFORMATION SUPPLIED BY THE CONTRACTOR OF RECORD IN ADDITION TO THOSE FEATURES DIRECTLY VIEWED BY I.N.S FIELD CREWS. ZOLLER, NAJJAR & SHROYER CANNOT GUARANTEE OR ASSUME RESPONSIBILITY FOR THE ACCURACY OF INFORMATION SUPPLIED BY, OR STAKING POINTS SET BY OTHERS.
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Scale:
 Vert. 1" = 2'
 Horiz. 1" = 50'



NOTE : PROFILE IS NOT PART OF RECORD DRAWING

PLAN
 SURVEYED, PLOTTED, CHECKED, RT OF WAY CHECKED
 NO. _____

PROFILE
 SURVEYED, PLOTTED, CHECKED, IN W'S NOTED, STRUCTURE NOTATIONS CHECKED
 NO. _____

NOTES:

- EXISTING FORCEMAIN TO BE FIELD LOCATED BY MANATEE COUNTY UTILITIES PRIOR TO PROPOSED FORCEMAIN CONSTRUCTION.
- ALL IMPROVEMENTS WITHIN RIGHT-OF-WAY TO BE CONSTRUCTED TO LATEST APPLICABLE MANATEE COUNTY REGULATIONS AND SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE FOR THE RELOCATION OR RECONSTRUCTION OF ANY UNDERGROUND UTILITIES, DRAINAGE FACILITIES, SIGNS, MAILBOXES, AND ANY OTHER ITEM LOCATED WITHIN THE RIGHT-OF-WAY DISTURBED DURING CONSTRUCTION. IF DISTURBED, THE GRASS AREA 2' BEHIND CURB TO BE SODDED. ALL ASPHALT AND CONCRETE SURFACES TO BE REMOVED TO HAVE SAWCUT EDGES.

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ZOLLER, NAJJAR & SHROYER, INC.
 P.O. BOX 9448
 BRADENTON, FLORIDA 34206
 JAMES N. GATCH, JR. P.L.S. #4295
 DATE OF FIELD WORK: 12-90 - 4-91 DATE OF CERTIFICATION:

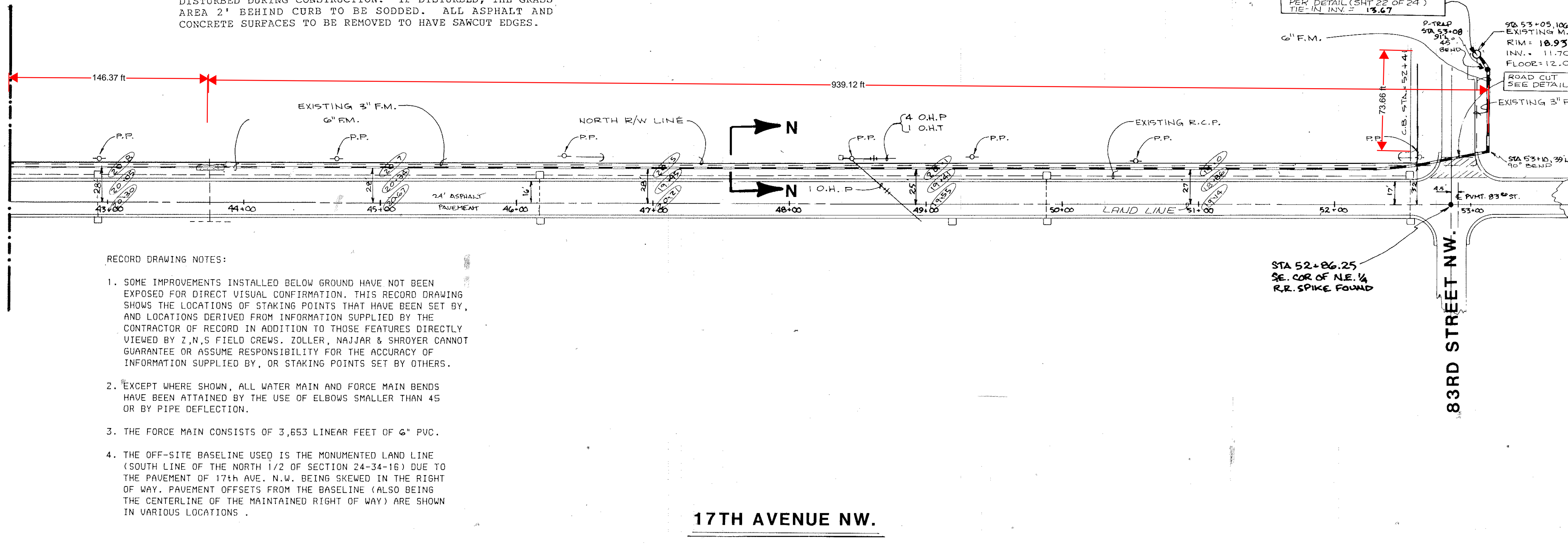
REVISIONS	
1	ROAD CUT REVISED PER M.C. REVIEW
2	AS V. ADDED PER 7/19/90
3	FOR TO WH. TIE-IN REVISED FROM W. SIDE TO E. SIDE 10/10/90
4	RECORD DRAWING 5-18-91
5	FINAL SUBM. W/REV PER MCPWD 5-14-91
6	
7	

Zoller, Najjar & Shroyer, Inc.
 Engineers, Planners, Surveyors & Landscape Architects

201 5th AVENUE DRIVE EAST
 POST OFFICE BOX 848
 BRADENTON FLORIDA 34208
 TELEPHONE (813) 748-8800
 FAX (813) 748-3318

DESIGNED WT CHECKED MSD DATE MAY 1990 SCALE SHOWING
 DRAWN JJ/JH COMP. --- JOB NO. 750-11617 FILE NO. 10640 SHEET 7 OF 8

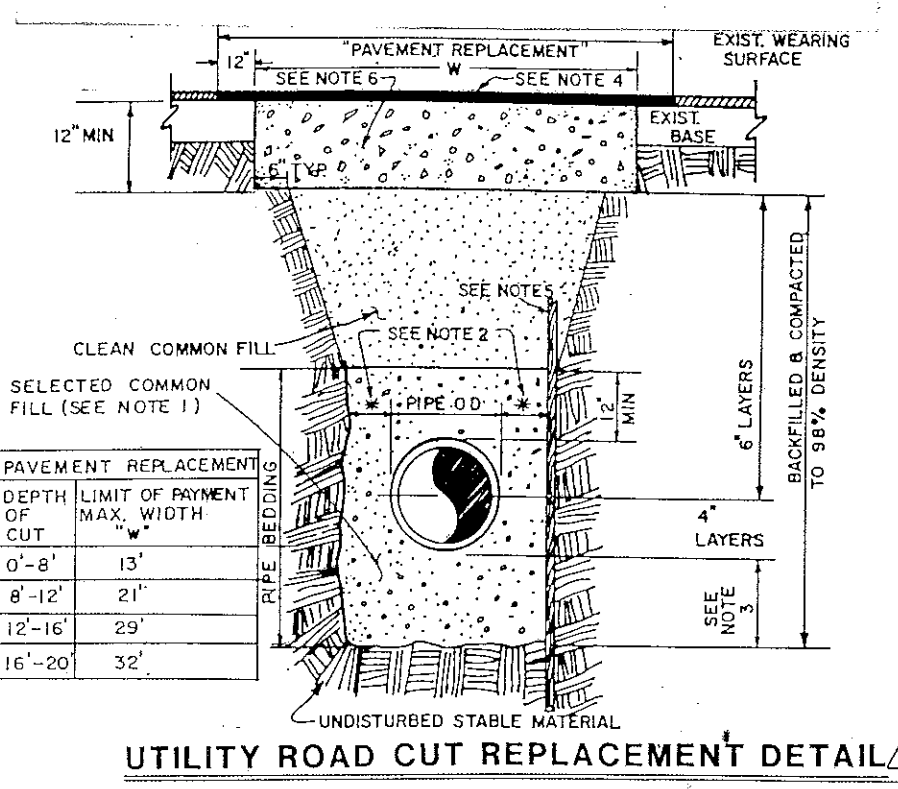
(SEE SHEET 6 OF 8)
 MATCH LINE



- RECORD DRAWING NOTES:
- SOME IMPROVEMENTS INSTALLED BELOW GROUND HAVE NOT BEEN EXPOSED FOR DIRECT VISUAL CONFIRMATION. THIS RECORD DRAWING SHOWS THE LOCATIONS OF STAKING POINTS THAT HAVE BEEN SET BY, AND LOCATIONS DERIVED FROM INFORMATION SUPPLIED BY THE CONTRACTOR OF RECORD IN ADDITION TO THOSE FEATURES DIRECTLY VIEWED BY Z.N.S. FIELD CREWS. ZOLLER, NAJJAR & SHROYER CANNOT GUARANTEE OR ASSUME RESPONSIBILITY FOR THE ACCURACY OF INFORMATION SUPPLIED BY, OR STAKING POINTS SET BY OTHERS.
 - EXCEPT WHERE SHOWN, ALL WATER MAIN AND FORCE MAIN BENDS HAVE BEEN ATTAINED BY THE USE OF ELBOWS SMALLER THAN 45 OR BY PIPE DEFLECTION.
 - THE FORCE MAIN CONSISTS OF 3,653 LINEAR FEET OF 6" PVC.
 - THE OFF-SITE BASELINE USED IS THE MONUMENTED LAND LINE (SOUTH LINE OF THE NORTH 1/2 OF SECTION 24-34-16) DUE TO THE PAVEMENT OF 17th AVE. N.W. BEING SKEWED IN THE RIGHT OF WAY. PAVEMENT OFFSETS FROM THE BASELINE (ALSO BEING THE CENTERLINE OF THE MAINTAINED RIGHT OF WAY) ARE SHOWN IN VARIOUS LOCATIONS.

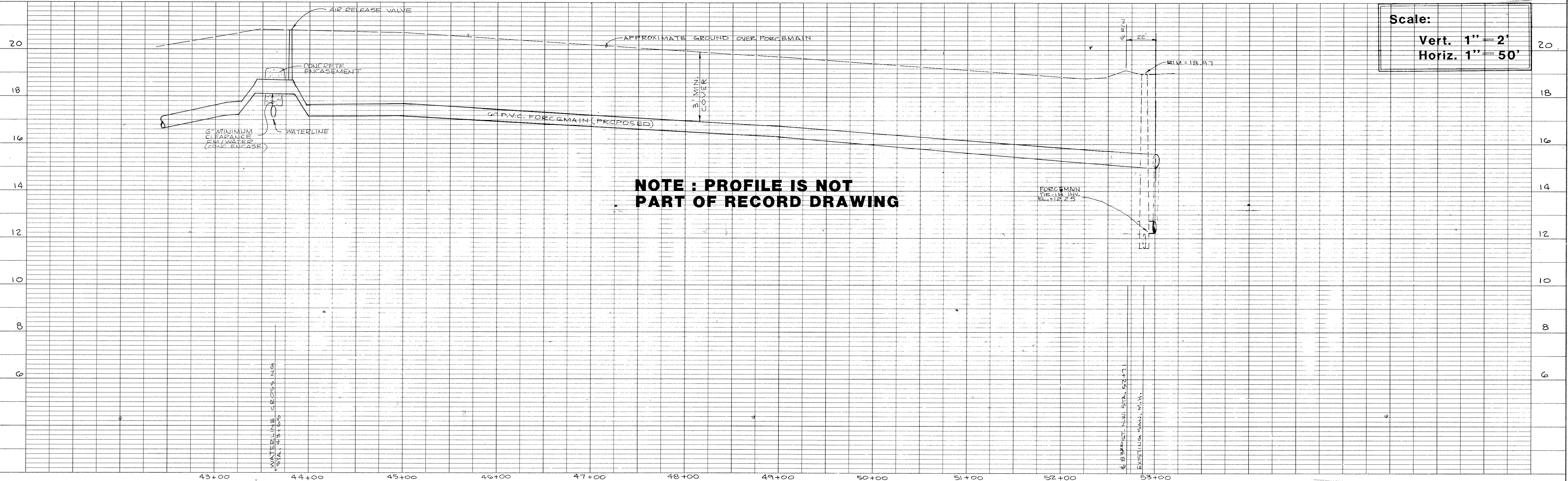
17TH AVENUE NW.

RECORD DRAWING OF OFF-SITE FORCEMAIN PLAN FOR THE LOOP
 LOCATED IN:
 SEC. 24, TWP. 34 S., RGE. 16 E.
 MANATEE COUNTY, FLORIDA



Scale:
 Vert. 1" = 2'
 Horiz. 1" = 50'

NOTE: PROFILE IS NOT PART OF RECORD DRAWING



PLAN

DATE	
BY	
REVISIONS	
NO.	
DATE	
BY	
REVISIONS	
NO.	

PROFILE

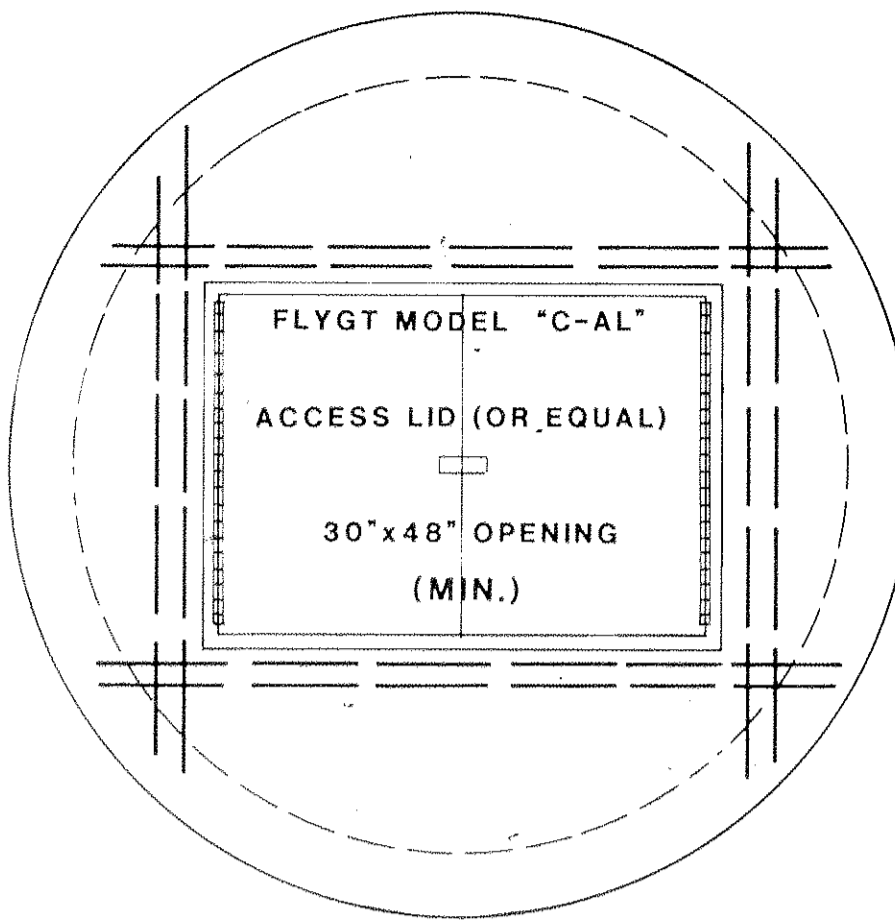
DATE	
BY	
REVISIONS	
NO.	
DATE	
BY	
REVISIONS	
NO.	

NOTE:
ALL LIFT STATIONS SHALL BE EQUIPPED WITH ONE CONDUIT TO THE WETWELL FOR PUMP POWER CABLES AND A SEPARATE CONDUIT TO THE WETWELL FOR THE CONTROL (FLOATBALL) CABLE. IN LIFT STATIONS WHERE THE PUMP CORDS ARE 8/4" OR LARGER, SEPARATE CONDUITS SHALL ALSO BE REQUIRED FOR EACH PUMP POWER CABLE. ALL BURIED CONDUIT TO THE LIFT STATION WETWELL SHALL BE 2" SCH. 80 PVC AND SHALL BE RUN BY THE SHORTEST ROUTE POSSIBLE.

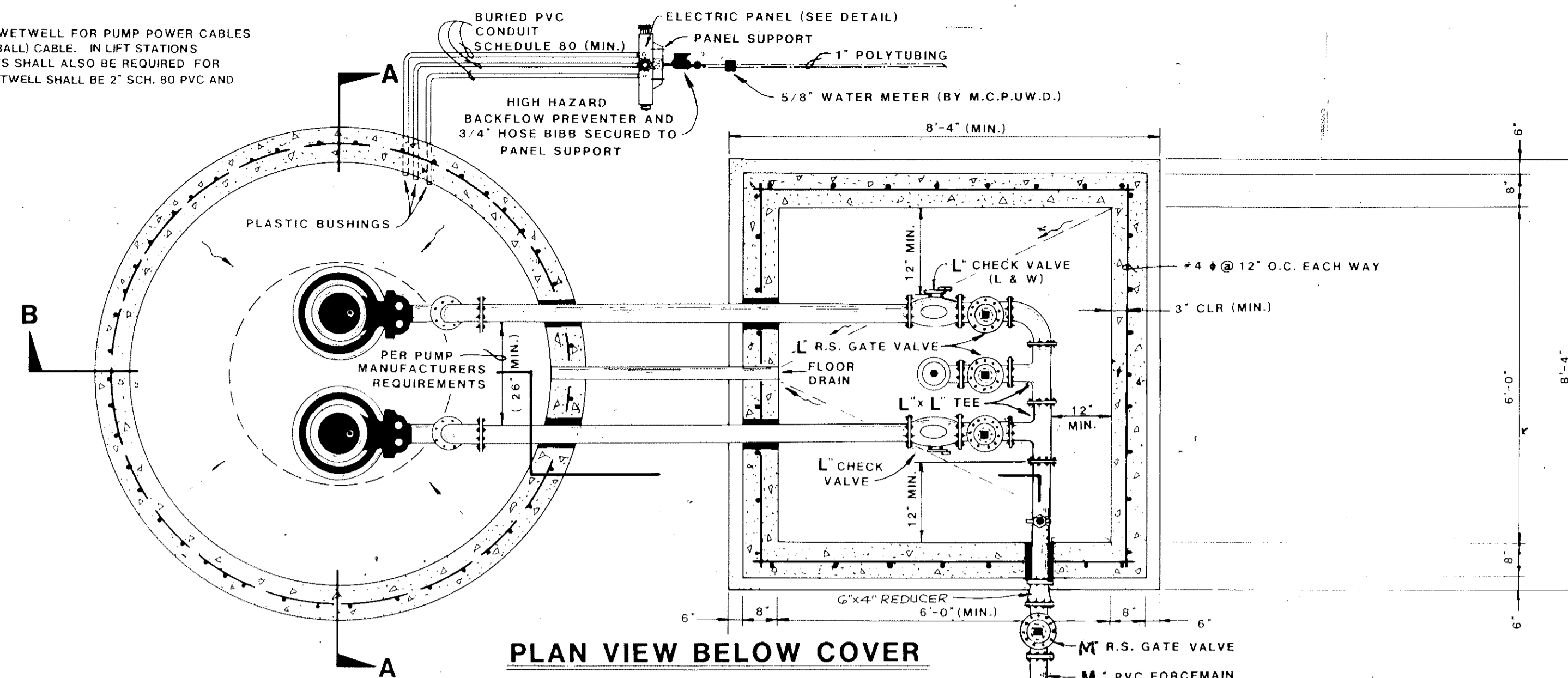
PUMP SPECIFICATIONS	
PUMPS	54 NX - 2EA
SIZE	5 BHP
PHASE	3
VOLTAGE	230
G.P.M.	210
T.D.H.	41.01
IMPELLER	7.50"
R.P.M.	1750

NOTES:

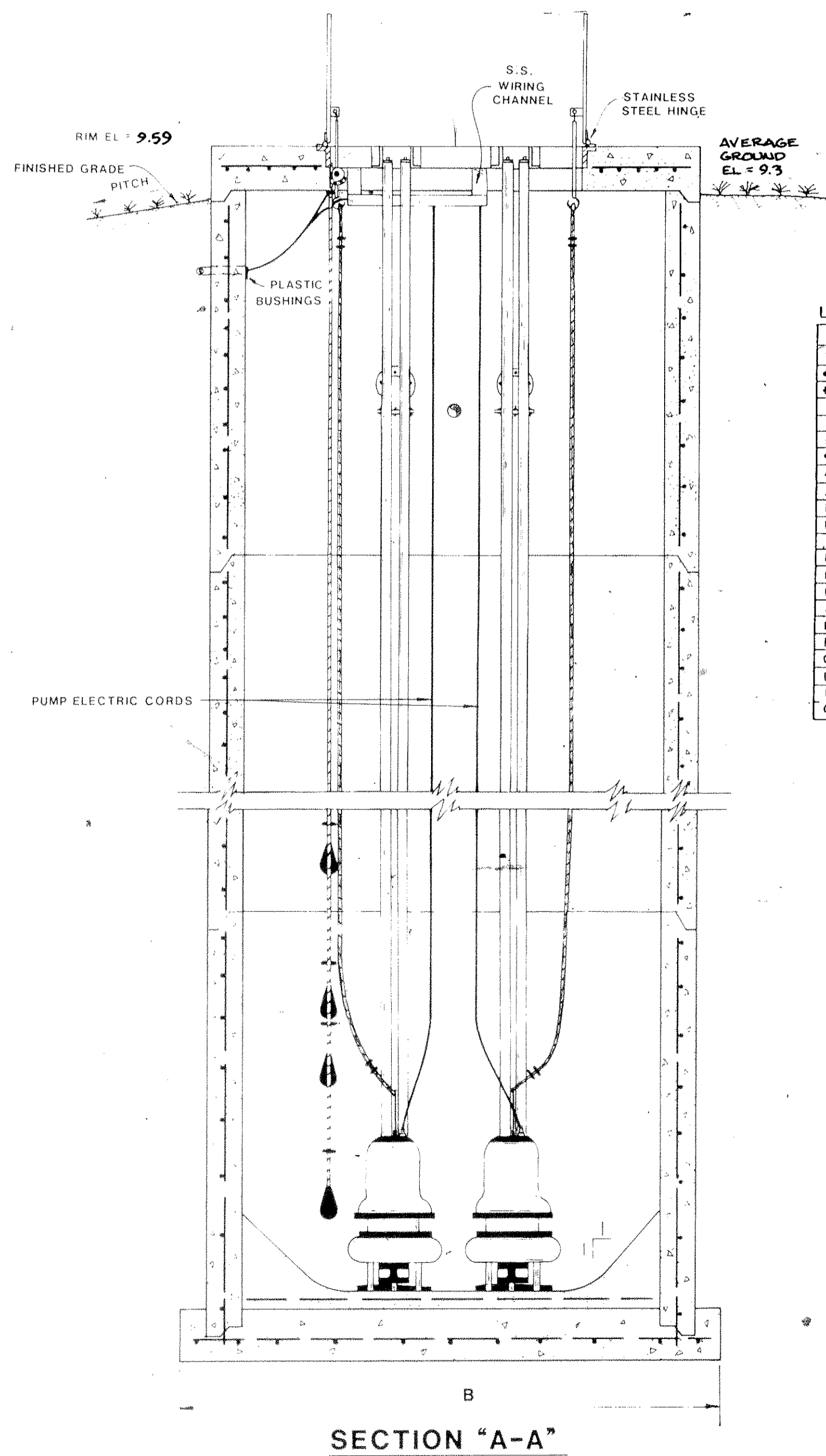
1. WET WELL AND VALVE BOX SHALL BE COATED INSIDE AND OUTSIDE WITH 2 COATS OF EPOXY TYPE PAINT AS APPROVED BY THE ENGINEER. ALL EXPOSED PIPING AND VALVES ABOVE PUMPS SHALL RECEIVE 2 FIELD COATS OF EPOXY PAINT AFTER ASSEMBLY. ALL SURFACES TO BE PAINTED SHALL BE THOROUGHLY CLEANED IN PREPARATION FOR PAINTING.
2. DETAILED SHOP DRAWINGS INCLUDING ALL COMPONENTS SHALL BE SUBMITTED AND APPROVED BY THE ENGINEER AND MANATEE COUNTY PUBLIC WORKS DEPT. (MCPWD) PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO PROVIDE 5 LOCKS, KEYED ALIKE. LOCKS FOR PUBLIC LIFT STATIONS ARE TO BE OBTAINED FROM MANATEE COUNTY UTILITIES DEPARTMENT.
4. PUMP CONTROLS TO BE ACTIVATED BY APPROVED MERCURY FLOAT SWITCHES AS SHOWN. CONTROLS TO BE 24-VAC.
5. ELECTRICAL CONTROLS TO BE HOUSED IN WEATHERPROOF NEMA 3R STAINLESS STEEL ENCLOSURE. LOAD CENTER SHALL BE SQUARE "MD" OR EQUAL WITH FURNAS MAGNETIC ALTERNATOR. PANEL SHALL CONTAIN DISCONNECT 2 H.O.A. SWITCHES, HOUR METERS TO RECORD RUNNING TIME FOR EACH PUMP, AND ALL INTERNAL WIRING NECESSARY FOR A COMPLETE OPERATING SYSTEM MARKED AND IN COMPLIANCE WITH THE NATIONAL ELECTRIC CODE. CONTRACTOR TO OBTAIN MCPWD MINIMUM SPECIFICATIONS (SPECS) PRIOR TO ORDERING ELECTRICAL EQUIPMENT.
6. ALL ACCESS LIDS TO BE ALUMINUM, HINGED AND PADLOCKED AS SHOWN.
7. FORCE MAIN TO HAVE A MINIMUM OF 36" COVER.
8. FURNISH AND INSTALL PRESSURE TYPE VACUUM BREAKER, SIMILAR OR EQUAL TO WATTS MODEL 909, HWQT, ON LIFT STATION WATER SERVICE.
9. ALL WORK IS TO BE IN COMPLIANCE WITH MCPWD SPECS. IN CASE OF CONFLICT, THE MORE STRINGENT CRITERIA SHALL GOVERN.
10. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL IF PRE-CAST STRUCTURES ARE USED.
11. CONTRACTOR IS ADVISED TO CHECK THE LANDSCAPING PLAN FOR PLANTING AND IRRIGATION DETAILS.
12. ALL D.I.P. TO BE CL53 (MIN.).



PLAN VIEW

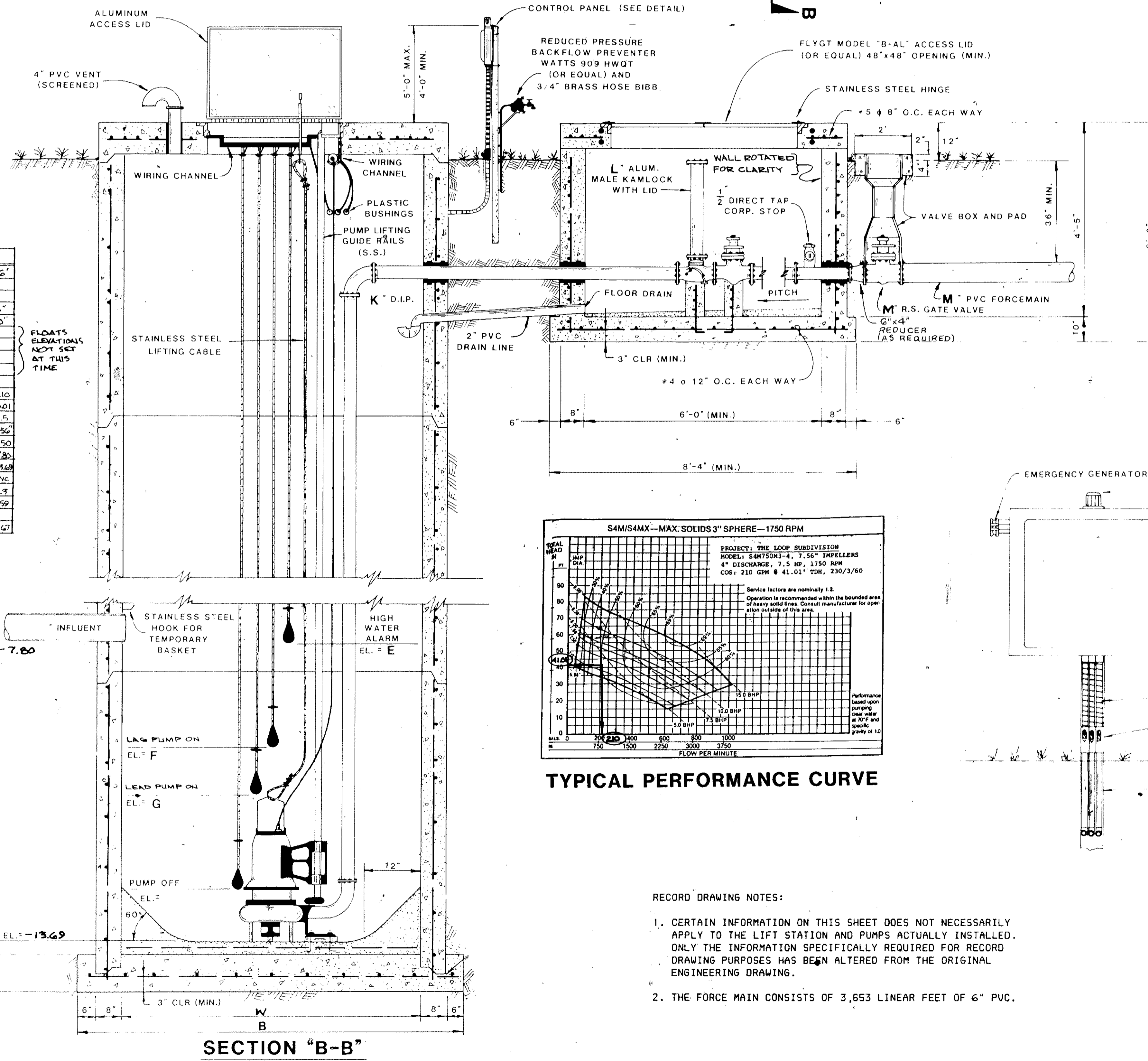


PLAN VIEW BELOW COVER

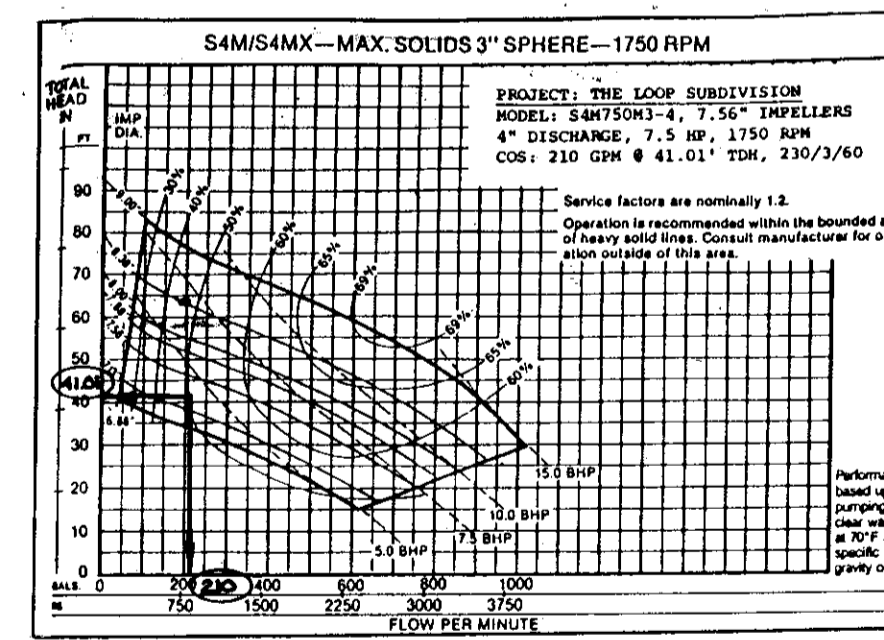


SECTION "A-A"

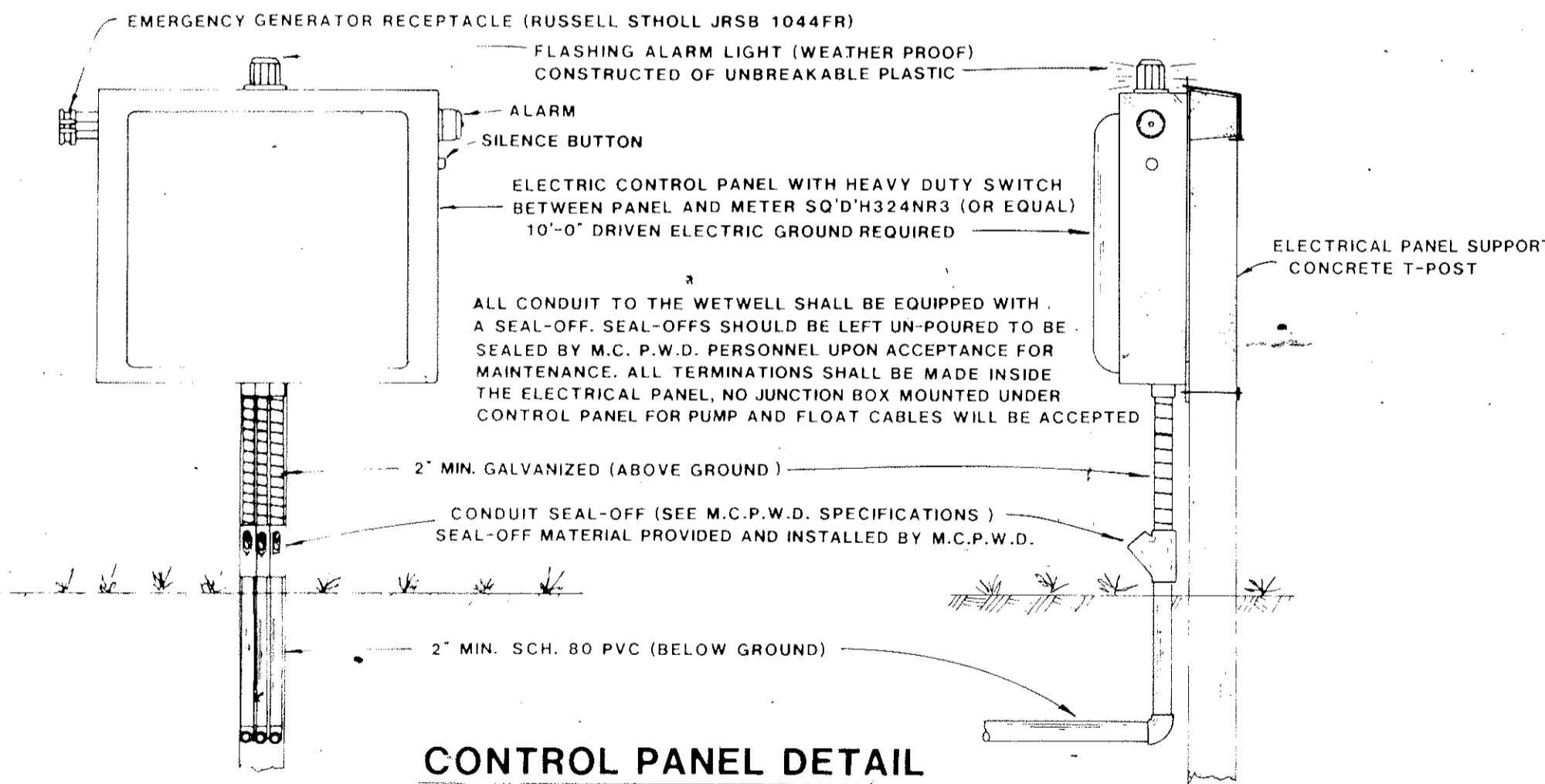
LIFT STATION SCHEDULE	
DESCRIPTION	
WET WELL DIA. "W"	6"
EMERGENCY PUMP OFF DIA. "E"	1/2"
FORCEMAIN DIA. "C"	6"
INFLUENT PIPE DIA. "I"	10"
HIGH WATER ALARM ELEV. ON LEVEL "H"	
ON LEVEL "L"	
DIFF LEVEL	
PUMP MODEL NUMBER HYDROLYK 54 NX 2EA	
PUMP CAPACITY - GPM EACH	210
TOTAL DYNAMIC HEAD - FEET	40.01
MOTOR HORSEPOWER	7.5
PUMP IMPELLER SIZE	7.50"
RPM	1750
INFLUENT INVERT ELEV.	7.80
BOTTOM SLAB ELEV.	13.69
FORCEMAIN LENGTH, TYPE 3653 L.F. 6"x4" PVC	3653
GROUND ELEV.	9.4
LIFT STATION RIM ELEV.	9.59
FORCEMAIN INVERT ELEVATION @ MANHOLE, WETWELL OR MANHOLE	13.67



SECTION "B-B"



TYPICAL PERFORMANCE CURVE



CONTROL PANEL DETAIL

RECORD DRAWING OF LIFT STATION FOR THE LOOP

LOCATED IN:
SEC. 24, TWP. 34 S., RGE. 16 E.
MANATEE COUNTY, FLORIDA

RECORD DRAWING NOTES:

1. CERTAIN INFORMATION ON THIS SHEET DOES NOT NECESSARILY APPLY TO THE LIFT STATION AND PUMPS ACTUALLY INSTALLED. ONLY THE INFORMATION SPECIFICALLY REQUIRED FOR RECORD DRAWING PURPOSES HAS BEEN ALTERED FROM THE ORIGINAL ENGINEERING DRAWING.
2. THE FORCE MAIN CONSISTS OF 3,653 LINEAR FEET OF 6" PVC.

NOTE: FLOAT CONTROL LEVELS MAY BE ADJUSTED AT TIME OF INSTALLATION TO MEET PROPOSED SERVICE CONDITIONS.

I HEREBY CERTIFY THAT THE RECORD DRAWINGS OF THE UTILITIES SHOWN, SUPERIMPOSED UPON THE DESIGN CONSTRUCTION PLANS, IS TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, A TRUE AND CORRECT REPRESENTATION OF THE IMPROVEMENTS AS SHOWN.

ZOLLER, NAJJAR & SHROYER, INC.
P.O. BOX 9448
BRADENTON, FLORIDA 34206
JAMES M. GATCH, JR. PLS. #4295
DATE OF FIELD WORK: 12-90-4-91 DATE OF CERTIFICATION:

REVISIONS	
1	1/2" SIZES REV/MODIFIED 7-24-90
2	RECORD DRAWING 5-8-91
3	PER MCPWD 5-14-91
4	
5	
6	
7	

Zoller, Najjar & Shroyer, Inc.
Engineers, Planners, Surveyors & Landscape Architects

201 5th AVENUE DRIVE EAST
POST OFFICE BOX 9448
BRADENTON, FLORIDA 33506
TELEPHONE (813) 748-8000

DESIGNED WJ CHECKED N15D DATE MAY 1990 SCALE NOUE
DRAWN JH COMP --- JOB NO. 750-11617 FILE NO. 10640 SHEET 5 OF 8