



MANATEE COUNTY

March 7, 2011

All Interested Bidders:

SUBJECT: IFB #11-0579-OV / Downtown Bradenton Transit Station
Location: 601 13th Street West, Bradenton, FL
(Manatee County)

ADDENDUM #1

Bidders are hereby notified that this Addendum shall be acknowledged on page 00300-1 of the Bid Form and made a part of the above named bidding and contract documents. Bids submitted without acknowledgement of the Addendum will be considered incomplete.

The following items are issued to add to, modify, and clarify the bid and contract documents. These items shall have the same force and effect as the original bidding and contract documents, and cost involved shall be included in the bid prices. Bids to be submitted on the specified bid date, shall conform to the additions and revisions listed herein.

Bidders Note: Additional questions shall not be accepted at this time as the stated deadline of **March 4, 2011** has lapsed. This deadline has been established to maintain fair treatment of all potential bidders, while maintaining the expedited nature of the Economic Stimulus that the contracting of this work may achieve.

Bidders Note: Twenty-Eight (28) plans sheets have been revised and are made a part of this Addendum No. 1.

Attachments:

- SchenkelShultz Architecture memorandum dated March 7, 2011 responding to questions received at the Pre-Bid / Information Conference held on February 23, 2011 and contractor's questions received via email through March 4, 2011. (4 Total Pages)
 - The Engineer's Construction Cost Estimate dated March 3, 2011. (1 Total Page)
- It is important to note that Manatee County is currently receiving competitive bids which are up to 50% lower than the Engineer's estimates.
- Construction Signage. (1 Total Sign).

Financial Management Department – Purchasing Division
1112 Manatee Avenue West, Suite 803, Bradenton, FL 34205
Phone: 941-708-7527 – Fax: 941-708-7544
www.mymanatee.org

LARRY BUSTLE * MICHAEL GALLEN * JOHN R. CHAPPIE * ROBIN DISABATINO * DONNA G. HAYES * CAROL WHITMORE * JOE McCLASH
District 1 District 2 District 3 District 4 District 5 District 6 District 7

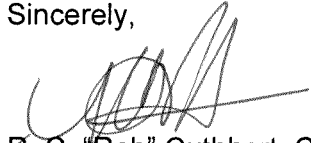
March 7, 2011
IFB #11-0579-OV / Downtown Bradenton Transit Station
Location: 601 13th Street West, Bradenton, FL (Manatee County)
Addendum # 1

If you have submitted a bid prior to receiving this addendum, you may request in writing that your original, sealed bid be returned to your firm. All sealed bids received will be opened on the date stated.

END OF ADDENDUM #1

Bids will be received at the **Manatee County Purchasing Division, 1112 Manatee Avenue West, Suite 803, Bradenton, FL 34205** until **2:00 P.M. on March 17, 2011.**

Sincerely,



R. C. "Rob" Cuthbert, C.P.M, CPPO
for Purchasing Division Manager

Ov/ Attachments (6 Total Pages)

PROJECT NAME: DOWNTOWN BRADENTON TRANSIT STATION

Manatee County

ADDENDUM NUMBER 1

Date of Issue: March 07, 2011

Bidders are hereby notified that this Addendum shall be acknowledged on the Bid Form and made a part of the above named bidding and contract documents. Bids submitted without acknowledgement of the Addendum will be considered incomplete. The following items are issued to add to, modify, and clarify the bid and contract documents. These items shall have the same force and effect as the original bidding and contract documents, and cost involved shall be included in the bid prices. Bids to be submitted on the specified bid date, shall conform to the additions and revisions listed herein.

Attachments:

- Civil sheets revised due to permit comments: C101, C102, C103, C104, C105, C106, C107, C108, C109, C110, C111, C112, C113, and C114.
- Landscape sheets revised due to permit comments: L101, L102, L103, and L104.
- Structural sheets revised due to permit comments: S1.1, S1.2, S1.3, S2.1, S3.1, S4.1, and S5.1.
- Architectural sheets revised due to permit comments: A011, A101, and A201.
- Construction Signage drawing to be placed at north and south end of the site, 2 total.
- Construction Cost Estimate.

Clarifications:

Clarification 1: Specified light fixtures are preferred. If any substitutions are desired please follow our specifications and submit a substitutions request form for review and approval (spec section 01 60 10).

Clarification 2: Please note that any suggested substitution must follow our specifications and substitution request form along with our substitutions section must be followed.

Clarification 3: Modified construction sign sketch is attached to this addendum. One (1) sign shall be provided by the successful Contractor.

Clarification 4: Due to project size, only one of the following staff shall be required at the site, either project manager or superintendent.

Clarification 5: Bid item #8 scope shall include any time associated with ordering tile as directed by the owner and architect. Design team is negotiating a contract with an artist to design tile art for the 4 art walls for this project. Design team shall have design and quote from a large tile company, such as Daltile, to translate the design into tile art. Contractor shall order the tile per quote provided by the design team and be responsible for the tile and installation of the tile from order to completion of the installation. Tile will be 95% on modular backing (probably 24"x24") and contractor shall install this tile on the art walls. Bid item #8 needs to include the Contractor's fee for installation of 4 art walls worth of tile (roughly 20' wide and 25' tall, see drawings) per manufacturer's guidelines and specifications. This will be a standard installation of tile on wall. Contractor shall include all associated time, equipment, installation fees for completion of this task from ordering the tile to installation of tile on art walls.

Clarification 6: County has paid for the following permit fees: FDOT, SWFWMD, City of Bradenton Building Permit. SWFWMD permit has been obtained, FDOT permit is in final stages of revisions and approval is anticipated in the next couple of weeks. City of Bradenton Building Permit process has started and the successful contractor shall be responsible for pulling that permit and all other necessary permits besides ones listed above. City of Bradenton Utilities department has started the permit process and approval is anticipated in the next 2 weeks, contractor shall pay and pull utilities permit(s) required for the project.

Clarification 7: The overall DBE goal approved by the FTA in accordance with 49 CFR Part 26 is 2%.

Clarification 8: All testing of Construction Methods and Materials shall be in accordance with the Technical Specification and Plans which were made a part of the original bidding documents and shall be the responsibility of the successful Contractor.

Clarification 9: Temporary facilities spec section calls for multiple services and conditions for the architect and owner representative (County Project Manager). Delete the following requirements from scope: 01 50 00 (1.3)(b),(d),(e),(f),(g),(h) and replace them with 1 small 30x48 area for drawings, table and chair which will be used for either County Project Manager or Architect.

Clarification 10: Buy American clause applies to rolling stock only. Specialty exterior furniture shall remain as designed. If substitutions are desired please submit substitution request form for our review per specifications. Buy American clause applies to construction project in excess of \$100,000 per 49 CFR 661 BUY AMERICAN REQUIREMENTS.

Clarification 11: FTA Contract Clause – Seismic Safety Requirements does not apply to this project.

Clarification 12: Please see attached construction cost estimate as part of this addendum.

Questions:

Question 1: We would like to get clarification on the size of the Palms required for this project; Plan L101 calls for 3 Foxtail Palm 13' GW - not sure if this is supposed to be single trunk or double? The largest we probably can locate is a collected Palm 10' GW with 36' OAH. Per our supplier a 13' GW will be difficult to locate, this would be at least a 30 year old Palm. The largest available in the market has 4-5' GW with 18'-22' OAH. Also please confirm that Royal Palms has to be 13' GW? Please provide Over all height requirements?

Answer: All of the palms will be Royal Palms with 10' of GW. The Palm total height will be about 26', but it is important that the grey wood be a minimum of 10' on each of them.

Question 2: Please provide a spec for the brick pavers.

Answer: Spec for brick pavers has been added to the plans. See revised plans sheet C107.

Question 3: Sheet C103: Note to remove 127 SF of the West Sidewalk. Where exactly does this occur?

Answer: A thin strip of sidewalk/curb is to be removed in order to accommodate the road widening.

Question 4: Detail on Sheet C106 shows 6" reinforced concrete paving. Please indicate what reinforcing is required for the concrete paving and the concrete sidewalks.

Answer: Fiber mesh for paving. Sidewalks are a standard concrete without fiber mesh reinforcement. See revised plans.

Question 5: Please confirm that there is no new asphalt paving for this project.

Answer: The asphalt limits are as shown on the revised plans. Through lane only.

Question 6: The plans and sections are not clear regarding the Sidewalk along the west side of the property. Are we to assume this is all existing 6" sidewalk to remain and we are only removing and replacing the curb between the existing sidewalk and the new concrete paving?

Answer: A thin strip of sidewalk/curb is to be removed in order to accommodate the road widening. Please see revised drawings for more info.

Question 7: Sections A-A, C-C, & D-D show a 6" standing curb along the west sidewalk but Sections E-E, F-F, and G-G show a larger curb along the west sidewalk. Is there a detail for this larger curb? Where does one curb type stop and the other one start?

Answer: There is no proposed deviation from the standard curb, please see above mentioned sections for clarification.

Question 8: Sheet C109, Section A-A shows this as both brick walk and 5" concrete sidewalk. Which is this, pavers or sidewalk? If pavers, please provide a section or details.

Answer: Pavers are proposed. See revised plans.

Question 9: Do the crosswalks get the same type of stamped concrete as the ½ circle areas. The architectural site plan describes the stamped concrete for the ½ circle areas but refers you to the civils for the crosswalks.

SCHENKELSHULTZ

□ □ □ A R C H I T E C T U R E □ □ □

Answer: No, Color and pattern of the crosswalk stamped concrete is to match as closely as possible what the City currently has in the downtown area. Some coordination with the City will be required in order to match the color.

Question 10: How do you propose to attached the red cedar slats to the tubing?

Answer: Please use 1/4" diameter stainless steel carriage bolts with stainless steel flat washers and stainless steel locknuts with nylon inserts.

Question 11: Section 31 66 13 Helical Piles: The specifications mention a load test. Is a load test being required? Is so how many load tests are being required?

Answer: Only one (1) load test is required (per spec section 3.11).

Question 12: Section 31 66 13 Helical Piles: Will the structural or the geotechnical engineer determine the location of the load test?

Answer: The test pile location shall be a production pile selected by owner (or else an alternate location may be allowed by mutual agreement with the structural and geotechnical engineers).

Question 13: Section 31 66 13 Helical Piles: Item 1.4.1 refers to Paragraph 3.1.8. Please provide since the specifications do not go to 3.1.8 rather they stop at 3.1.3.

Answer: Please change the referenced section to 3.10.

Question 14: Are there any plans to perform deeper soil borings? The Soil Borings only go to 10 foot deep. The Specification 2.8.2 states the soil shall not be relied upon from the upper nine (9) foot depth of soil. Adequate soil borings are an integral component of the plate design for the helical tension piles.

Answer: Deeper borings are not planned but may be required by the specialty engineer responsible for design of the helical piles. insitu pile capacities will be verified by a load test instead of a theoretical design from deeper borings.

Question 15: If additional soil borings will not be completed, will the engineer specify a plate configuration (sizes and number of plates) in order to allow proper bidding?

Answer: Design of helical piles and plate configuration is delegated to a specialty engineer to be provided by the contractor. The specialty engineer may use the soil properties provided in the shallow boring with discretion for bidding purposes.

Above concludes Addendum No.1,



Dražen Ahmedić, AIA Associate

SSA project #0920818

Downtown Bradenton Transit Station
March 02, 2011

Addendum No. 1
Page 4 of 4

SCHENKELSHULTZ
ARCHITECTURE

March 3, 2011

Subject: 0920818 Downtown Bradenton Transit Plaza Cost Estimate

To All Bidders:

I have composed a rough order of magnitude cost estimate for our project with the drawings we have completed to date. Please note that this is an estimate for construction cost only which would include discretionary amount as well as art allowance. Total estimate is \$1,999,500.00.

Sincerely,

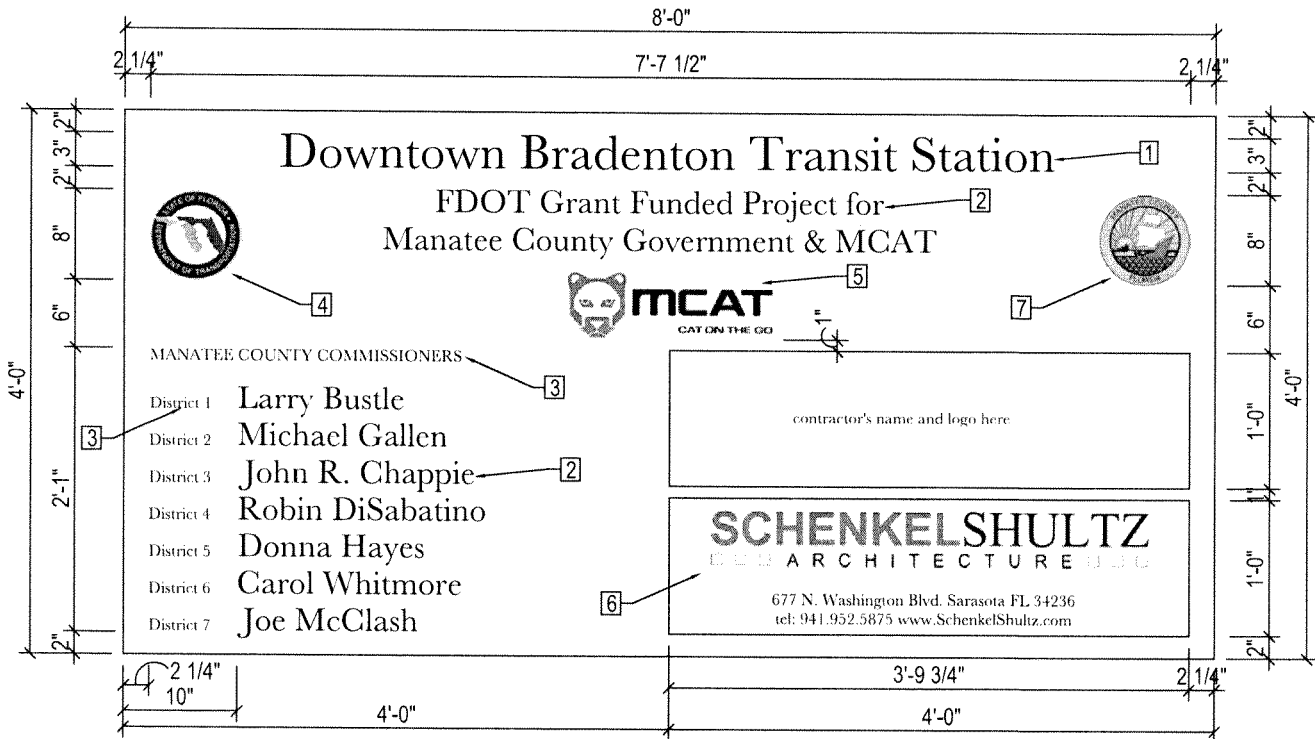


Dražen Ahmedić, AIA
Associate

SSA project #0920818

Note:

- 1- Sign shall be 4'x8'x3/4" Exterior grade plywood.
- 2- Paint all sides and edged of the sign white. Letters shall be black.
- 3- Logos shall be in color as required.
- 4- Sign shall be mounted on 2 - 4x4 white painted wood posts, exterior grade.
- 5- Verify the sign location with the County and the Architect.



Legend:

SCALE:

- 1- 3" Baskerville Letters
- 2- 2" Baskerville Letters
- 3- 1" Baskerville Letters
- 4- FDOT Logo
- 5- MCAT Logo - centered
- 6- SchenkelShultz Logo
 "Schenkel" shall be 3" tall Aerial Bold Font
 "Shultz" shall be 3" tall Times New Roman Font
 "ARCHITECTURE" shall be 1.5" Aerial Font
 Location and Contact info shall be 1" tall Aerial Font
- 7- Manatee County Logo



CONSTRUCTION SIGNAGE